

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF CLAYTON STANDARDS AND SPECIFICATIONS

GLEN LAUREL SELF STORAGE FACILITY

SITE PLAN SUBMITTAL

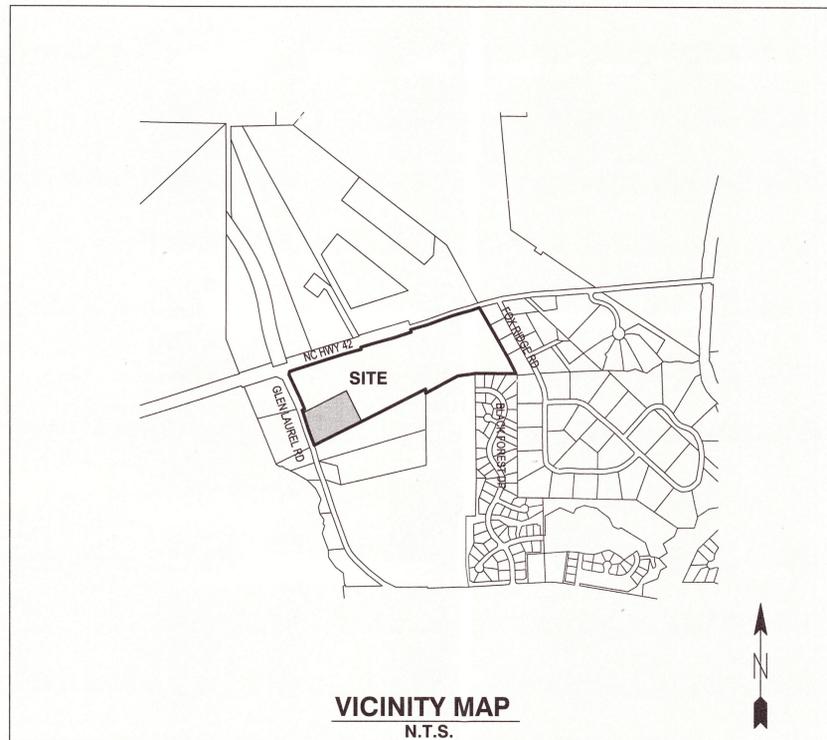
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

TOWN OF CLAYTON PROJECT NO. ----

SYMBOLS AND ABBREVIATIONS

ABC	AGGREGATE BASE COURSE		EXISTING CURB INLET
ALUM	ALUMINUM		EXISTING GRATE INLET/YARD INLET
AST2	ALUMINIZED STEEL - TYPE 2		EXISTING FLARED END SECTION
B-B	BACK TO BACK		EXISTING FIRE HYDRANT
BOA	BLOW-OFF ASSEMBLY		EXISTING BLOW-OFF ASSEMBLY
C&G	CURB AND GUTTER		EXISTING GATE VALVE
CFS	CUBIC FEET PER SECOND		EXISTING REDUCER
CI	CURB INLET		EXISTING WATER METER
CL	CENTER LINE		EXISTING SAN SEWER MANHOLE
CMP	CORRUGATED METAL PIPE		EXISTING CLEAN OUT
CO	CLEAN OUT		EXISTING POWER POLE
COM	COMMUNICATION		EXISTING TELEPHONE PEDESTAL
CONC	CONCRETE		EXISTING AREA LIGHT
DCV	DOUBLE CHECK VALVE		EXISTING SIGN
DDCV	DOUBLE DETECTOR CHECK VALVE		NEW CURB INLET
DI	DROP INLET		NEW GRATE INLET/YARD INLET
DIP	DUCTILE IRON PIPE		NEW FLARED END SECTION
EASE	EASEMENT		NEW FIRE HYDRANT
ELEC	ELECTRIC		NEW BLOW-OFF ASSEMBLY
EX	EXISTING		NEW GATE VALVE
FES	FLARED END SECTION		NEW REDUCER
FH	FIRE HYDRANT		NEW WATER METER
FM	FORCE MAIN		NEW TEE
FT	FEET		NEW PLUG
FT/SEC	FEET PER SEC		NEW MANHOLE
GALV	GALVANIZED		NEW CLEAN OUT
GV	GATE VALVE		NEW SIGN
HDPE	HIGH DENSITY POLYETHYLENE		IRON PIPE
L	LENGTH		BENCHMARK
LF	LINEAR FEET		TEMP SILT FENCE
MH	MANHOLE		TEMP TREE PROTECTION FENCE
PAVE	PAVEMENT		TEMP COMBINATION SILT/TREE PROTECTION FENCE
PE	FINISHED PAD ELEVATION		TEMP DIVERSION DITCH
PP	POWER POLE		DISTURBED LIMITS
PVC	POLYVINYL CHLORIDE		STREAM
R	RADIUS		EXISTING GAS LINE
R/W	RIGHT-OF-WAY		EXISTING COMMUNICATIONS LINE
RED	REDUCER		EXISTING UNDERGROUND TELEPHONE
RCP	REINFORCED CONCRETE PIPE		EXISTING UNDERGROUND ELECTRIC
RPZ	REDUCED PRESSURE ZONE		EXISTING OVERHEAD ELECTRIC
SS	SANITARY SEWER		EXISTING WATER LINE
STA	STATION		EXISTING SANITARY SEWER FORCE MAIN
TDD	TEMPORARY DIVERSION DITCH		EXISTING SANITARY SEWER
TELE	TELEPHONE		EXISTING STORM DRAINAGE
TSB	TEMPORARY SEDIMENT BASIN		NEW STORM DRAINAGE
UG	UNDERGROUND		NEW WATER LINE
WCR	WHEELCHAIR RAMP		NEW SANITARY SEWER
W/L	WATER LINE		NEW SANITARY SEWER FORCE MAIN
WM	WATER METER		NEW GAS MAIN
YI	YARD INLET		HANDICAPPED ACCESSIBLE ROUTE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF CLAYTON AND NCDOT



OWNER:

JAMES B. HUNT, JR.
1441 NC 42 EAST
CLAYTON, NC 27527

CONTACT: N/A
PHONE: N/A
EMAIL: N/A

DEVELOPER:

COMMERCIAL PROPERTIES, LLC
1004 WAKE FOREST RD.
RALEIGH, NC 27604

CONTACT: BRANTLEY TILLMAN, CCIM
PHONE: (919) 872-5702
EMAIL: brantley@commprop.net

ENGINEER:



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS

6310 CHAPEL HILL ROAD, SUITE 250
RALEIGH, NORTH CAROLINA 27607

TELEPHONE: (919) 851-4422 or (800) 354-1879
FAX: (919) 851-8968

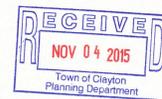
CERTIFICATION NUMBERS: NCBELS (C-0110)
NCBOLA (C-0267)

CONTACT: GARRY WALSTON, RLA
EMAIL: Garry.Walston@BNKinc.com



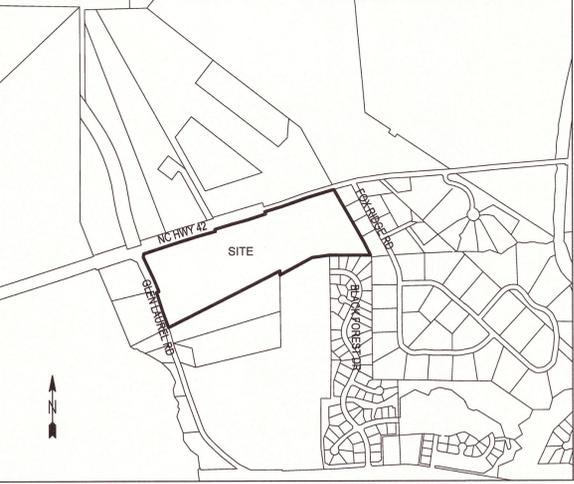
SHEET INDEX

COVER	
C1.0	EXISTING CONDITIONS
C1.1	SITE PLAN
C2.1	UTILITY & STORM DRAINAGE PLAN
L1.1	LANDSCAPE PLAN
ARCHITECTURAL ELEVATIONS	

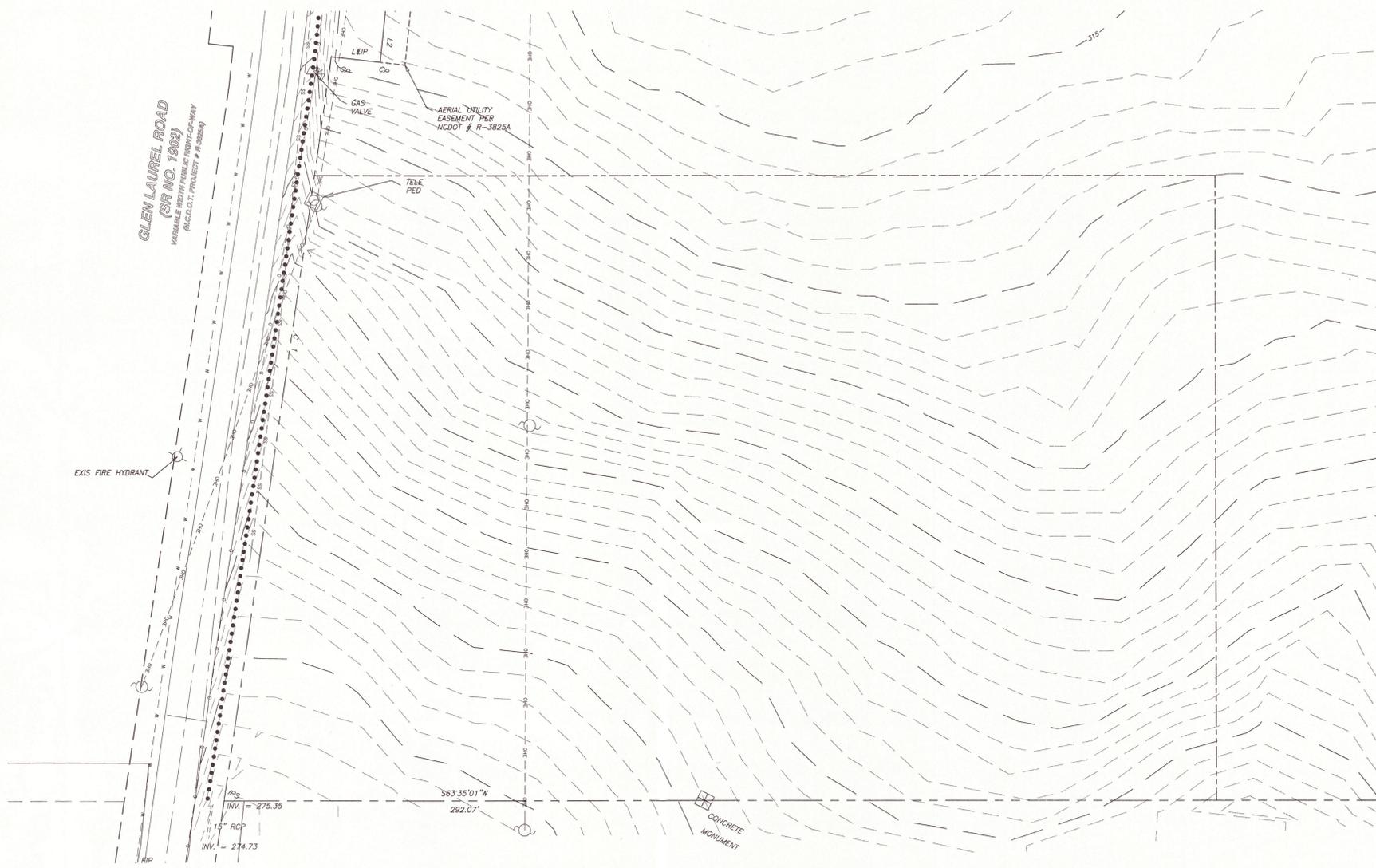


TOWN OF CLAYTON PROJECT NO. ----
BASS, NIXON & KENNEDY, INC.

03-15060 THE PINES AT GLEN LAUREL REZONING SUBMITTAL



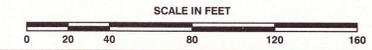
VICINITY MAP
1" = 1000'



NO WETLANDS EXIST ON-SITE

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF CLAYTON AND NCDOT



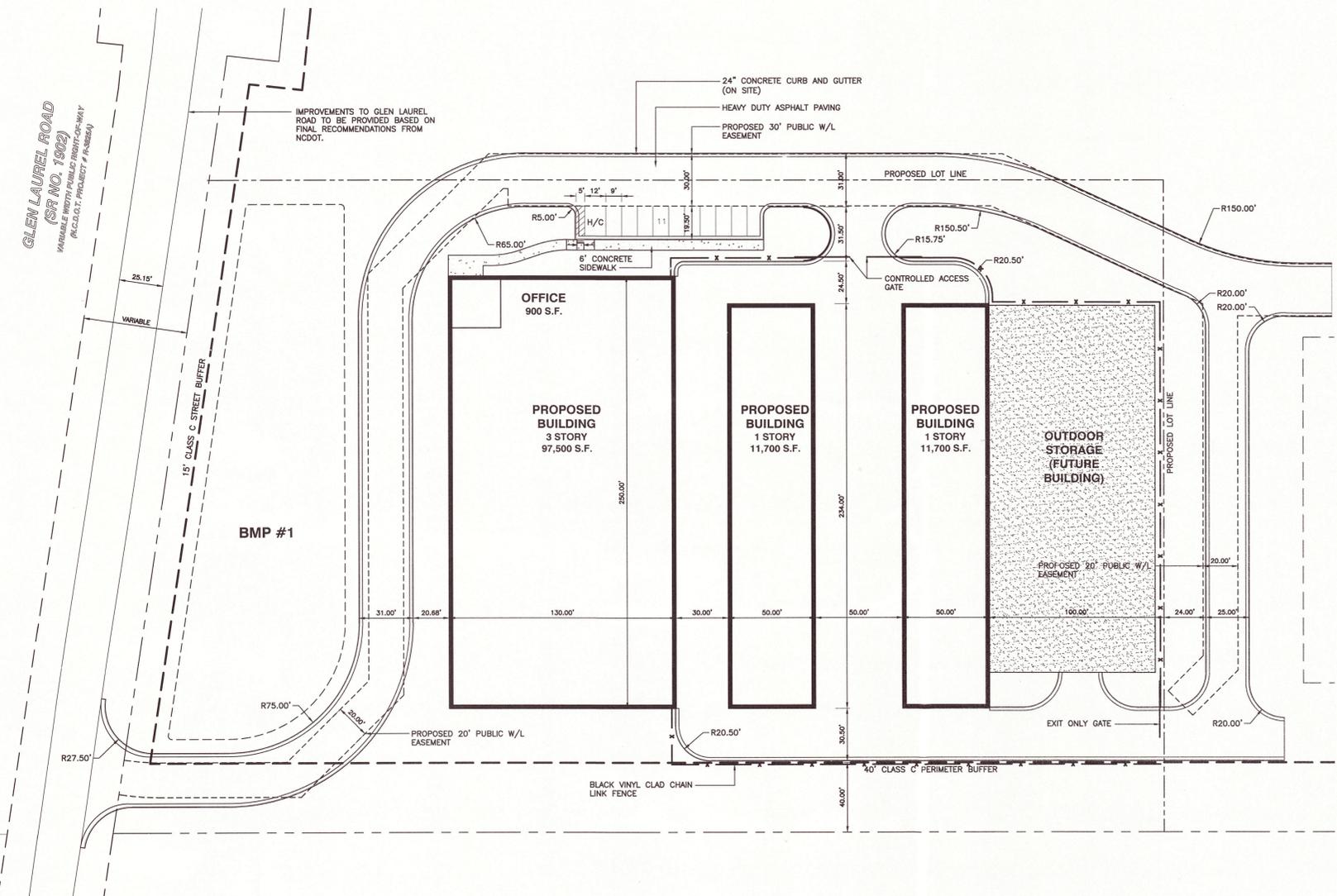
BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
TELEPHONE: (919)851-4422 OR (800)354-1879 FAX: (919)851-8968
CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY

GLEN LAUREL STORAGE FACILITY
1430 NC HIGHWAY 42
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

SHEET
C1.0
2 OF 7

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION



SITE DATA

PROJECT NAME: THE PINES AT GLEN LAUREL APARTMENTS
 PIN: PORTION OF 05104003
 REAL ID NUMBER: 4224442
 ADDRESS: 1430 NC HIGHWAY 42 CLAYTON, NORTH CAROLINA
 ZONING: (EXISTING) I-2 HEAVY INDUSTRIAL AND R-E
 ZONING OVERLAY: THOROUGHFARE OVERLAY II (NC 42) & WATERSHED PROTECTION
 ZONING: (PROPOSED) PDD-MIXED USE
 ZONING OVERLAY: THOROUGHFARE OVERLAY II (NC 42) & WATERSHED PROTECTION
 SITE AREA (GROSS) 4.98 ACRES
 PROPOSED DEVELOPMENT: SELF-STORAGE FACILITY
 BUILDING LOT COVERAGE: 120,900 S.F. IN THREE BUILDINGS
 MAXIMUM BUILDING HEIGHT: 55,900 S.F./216,929 S.F. OR 25.8%
 NUMBER OF STORIES: 50'
 PROPOSED DEVELOPMENT SETBACKS:
 FRONT YARD 15'
 SIDE YARD 20'
 REAR YARD 20'
 PROPOSED PARKING REQUIREMENTS: 5 REQUIRED/ XX PROVIDED
 IMPERVIOUS SURFACE AREA 114,854 (53%)



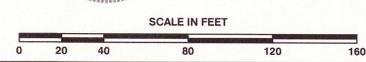
BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919)851-4422 OR (800)354-1879 FAX: (919)851-8968
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY

JOB NO. 03-15060
 DATE 11-02-15
 DRAWN BY
 CHECKED BY: KRB
 SCALE: 1" = 40'
SITE PLAN

GLEN LAUREL STORAGE FACILITY
 1430 NC HIGHWAY 42
 TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

SHEET C1.1
 3 OF 7



TOWN OF CLAYTON UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR/OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGH.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLY AT (919) 996-5923 OR JOANIE.HARTLY@RALEIGH.GOV FOR MORE INFORMATION.



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919)851-4422 OR (800)354-1879 FAX: (919)851-8968
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

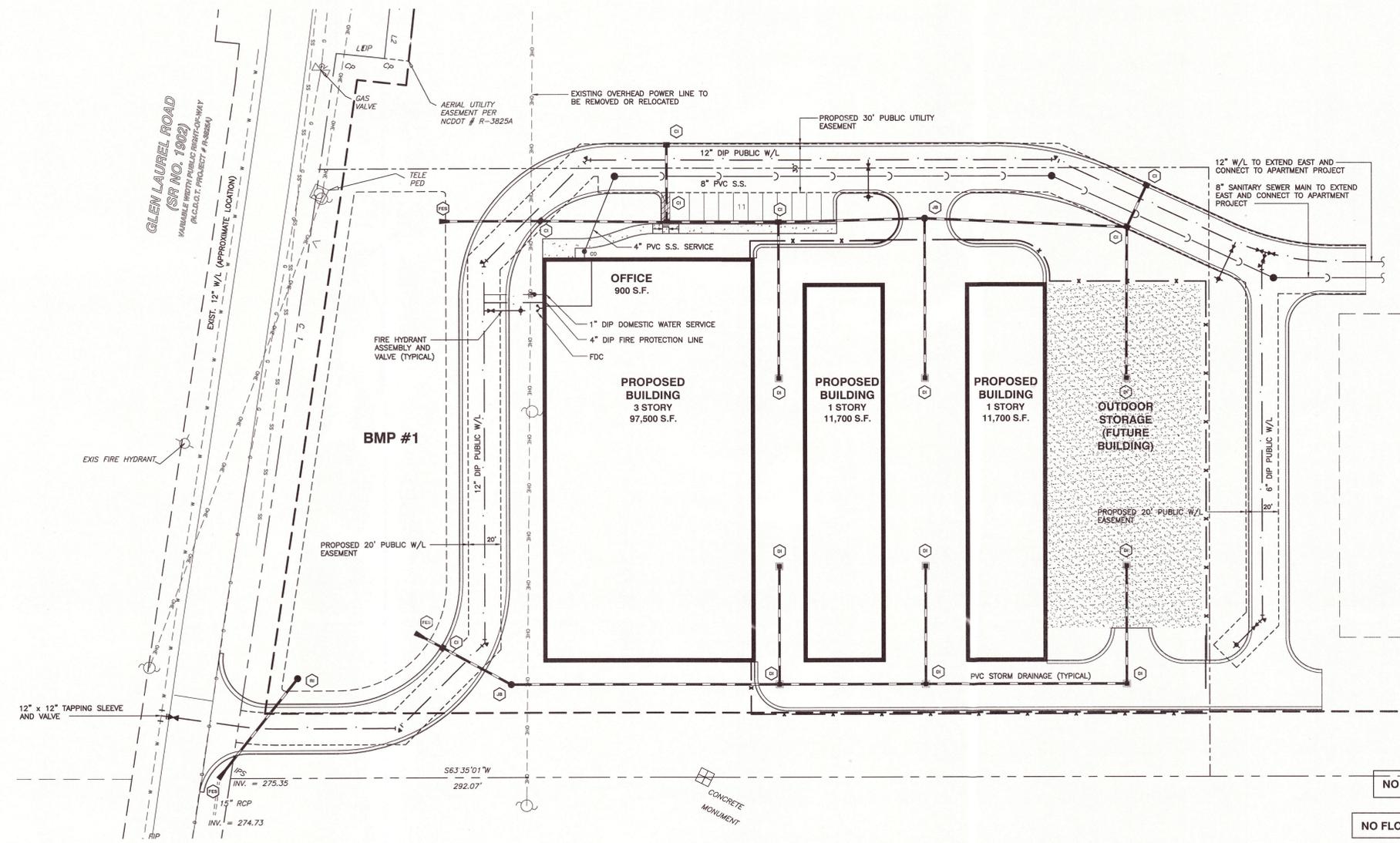
NO.	DATE	DESCRIPTION	BY

03-15060 11-02-15
 JOB NO. DATE
 DRAWN BY
UTILITY & STORM DRAINAGE PLAN
 CHECK BY: KRB
 SCALE: 1" = 40'

GLEN LAUREL STORAGE FACILITY
 1430 NC HIGHWAY 42
 TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

SHEET
C2.1
 4 OF 6

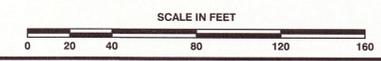
NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION



NO WETLANDS EXIST ON-SITE

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF CLAYTON AND NCDOT



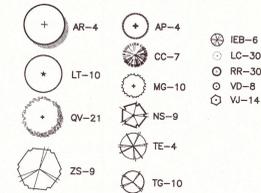
TOWN OF CLAYTON LANDSCAPE REQUIREMENTS:

- 20% OF TOTAL LOT AREA SHALL BE LANDSCAPED AT A RATE OF (1) CANOPY TREE, (1) UNDERSTORY TREE, AND (2) SHRUBS PER 1,000 SF.
- 216,929 SF X .20 = 43,386
- 43,386/1,000 = 44
- 44 CANOPY TREES REQUIRED: 44 PROVIDED
- 44 UNDERSTORY TREES REQUIRED: 44 PROVIDED
- 88 SHRUBS REQUIRED: 88 PROVIDED
- 15 CLASS 'C' BUFFER (STREET BUFFER)
- 15' WIDTH REQUIRES (2) CANOPY TREES, (1) UNDERSTORY TREE, AND (10) SHRUBS PER 100 LF
- SEE BUFFER EXHIBITS FOR TYPICAL TYPE 'A' BUFFER PLANT LAYOUT

TOWN OF CLAYTON LANDSCAPE NOTES:

- ALL DISTURBED AREAS TO BE BERMUDA GRASS LAWN, UNLESS OTHERWISE INDICATED.
- PLANTING AREAS SHALL CONSIST OF UNCOMPACTED SOIL THAT IS A MINIMUM OF 8 INCHES DEEP. SOILS SHALL BE APPRECIABLY FREE OF GRAVEL, STONES, RUBBLE OR TRASH. ALL CONTAMINATED SOIL SHALL BE REMOVED.
- MULCH ALL LANDSCAPE BEDS WITH DOUBLE-SHREDDED HARDWOOD MULCH.
- CANOPY TREES SHALL BE LOCATED NO CLOSER THAN TEN FEET FROM ANY STRUCTURE. UNDERSTORY TREES SHALL BE PLANTED NO CLOSER THAN SEVEN FEET FROM ANY STRUCTURE.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL. SUCH SYSTEM SHALL INCLUDE A RAIN SENSOR.
- ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.

TREE SYMBOL LEGEND



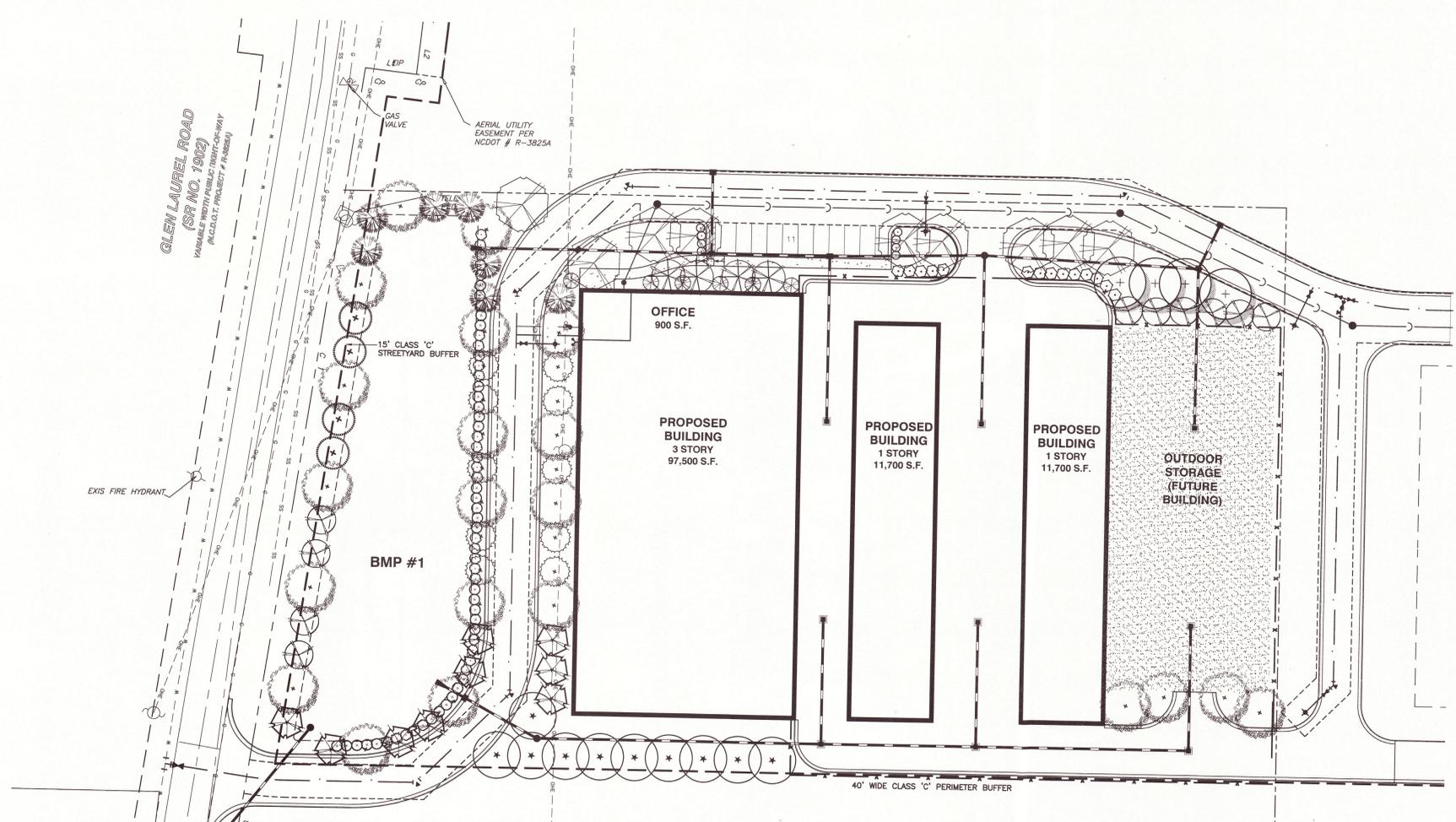
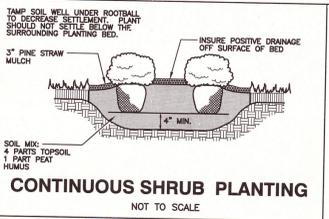
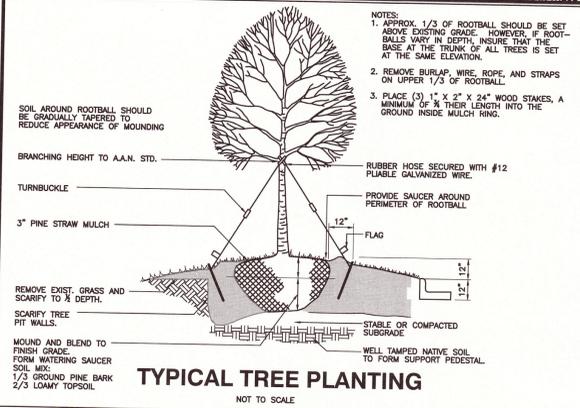
GENERAL NOTES

- A/C UNITS, TRANSFORMERS AND OTHER MECHANICAL OR UTILITY EQUIPMENT, NOT SHOWN ON THE PLAN, SHALL BE SCREENED FROM VIEW EITHER BY ADJUSTING PLANTINGS SHOWN IN CLOSE PROXIMITY TO EQUIPMENT OR BY THE ADDITION OF WAX MYRTLES @ 24" HT, 5' OC (SEE GENERAL NOTES FOR EQUIPMENT ACCESSIBILITY AND PLANTING PROXIMITY, ETC.). DUMPSTER IS SCREENED FROM OFF-SITE VIEWS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO PLANTING.
- MULCH SHALL BE 3" DEEP PINE STRAW UNLESS OTHERWISE NOTED.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST AND ON THE PLAN SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES BETWEEN PLANT LIST AND PLANTING PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
- ALL TREES, SHRUBS, GROUNDCOVER, ETC. SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
- ALL ROOTBALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO PLANTING.
- B&B AS LISTED UNDER "ROOT" IN THE PLANT LIST INDICATES BALLED & BURLAPPED.
- ALL PLANTS/PLANTINGS SHALL BE MULCHED IMMEDIATELY AFTER PLANTING AND WATERED.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THEY BORE TO PREVIOUS EXISTING GRADE (UNLESS OTHERWISE NOTED).
- ALL TREES AND SHRUBS SHALL REQUIRE MULCH RINGS AT THEIR BASE IF LEFT WITHIN LAWN AREAS.
- MULCH EDGES AND PROPOSED PLANTINGS SHALL NOT DISTURB ANY EXISTING GROUPS OF TREES TO REMAIN. EDGES ARE SHOWN FOR APPROXIMATION ONLY, BUT ARE TO INDICATE SMOOTH, CLEAN CURVES.
- CULVERTS, RIP-RAP STRUCTURES, AND OTHER STORMWATER DEVICES SHALL BE SCREENED WITH EVERGREEN SHRUBS. IF STRUCTURES ARE NOT SHOWN ON THE PLAN, INSTALL WAX MYRTLES @ 24" HT, 5' OC.
- A 2' BUMPER OVERHANG, FROM THE BACK OF CURB, SHALL BE ALLOTTED FOR MATURE SHRUBS.
- TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (C.O.). THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A (C.O.).
- ALL TREES SHALL BE LOCATED A MINIMUM OF 6' FROM SIDEWALKS.

PLANTING NOTES:
LOCATE PLANTS AND PLANTING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, BACK OF CURB, BUILDINGS, WALLS, ETC.
ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSEYMEN, INC., WASHINGTON, D.C. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT.
SYMBOLS: B&B = BALLED & BURLAPPED; B.R. = BARE ROOT; CONT. = CONTAINER, O.C. = ON-CENTER

PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QUAN.	CALL	HT	ROOT	REMARKS
SHADE TREES							
AR	Acer rubrum 'Somerset'	Red maple	4	2.5"	10'	B&B	
LT	Liriodendron tulipifera	Tulip Poplar	10	2.5"	10'	B&B	
QV	Quercus virginiana	Live Oak	21	2.5"	10'	B&B	
ZS	Zelkova serrata 'Village Green'	Village Green Zelkova	9	2.5"	10'	B&B	
UNDERSTORY TREES							
AP	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	4	1.5"	6'	B&B	
CC	Cercis canadensis 'Forest Pansy'	Eastern Redbud	7	2"	8'	B&B	
MG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	10	8"	8'	B&B	
NS	Syssa sylvatica	Tepelo	9	2"	8'	B&B	
TE	Thuja occidentalis 'Emerald'	Emerald Arborvitae	4	8"	8'	B&B	
TG	Thuja 'Green Giant'	Green Giant Arborvitae	10	8"	8'	Cont	
SHRUBS							
IEB	Ilex x Emily Bruner	Emily Bruner Holly	6	48"		Cont	
LC	Loropetalum chinensis 'Chang's Ruby'	Loropetalum	30	12"		Cont	
RR	Rosa 'Double Red'	Double Knockout Rose	30	12"		Cont	
VD	Viburnum davidii	David Viburnum	8	12"		Cont	



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
TELEPHONE: (919)851-4422 OR (800)354-1879 FAX: (919)851-9968
CERTIFICATION NUMBERS: NCBELS (C-0110), NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY

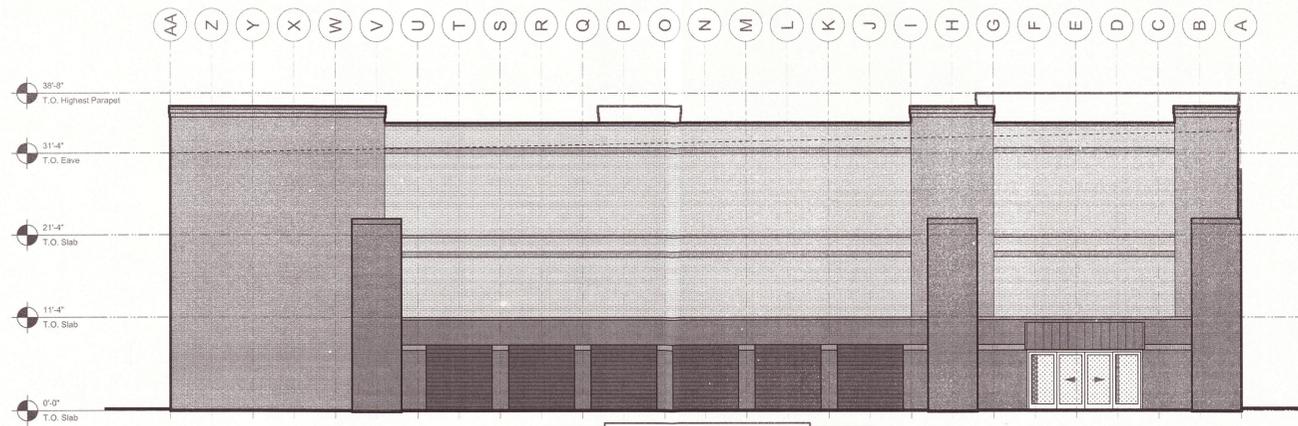
JOB NO. 03-15060
DATE 11-02-15
DRAWN BY
SCALE: 1" = 40'

GLEN LAUREL STORAGE FACILITY
1430 NC HIGHWAY 42
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA

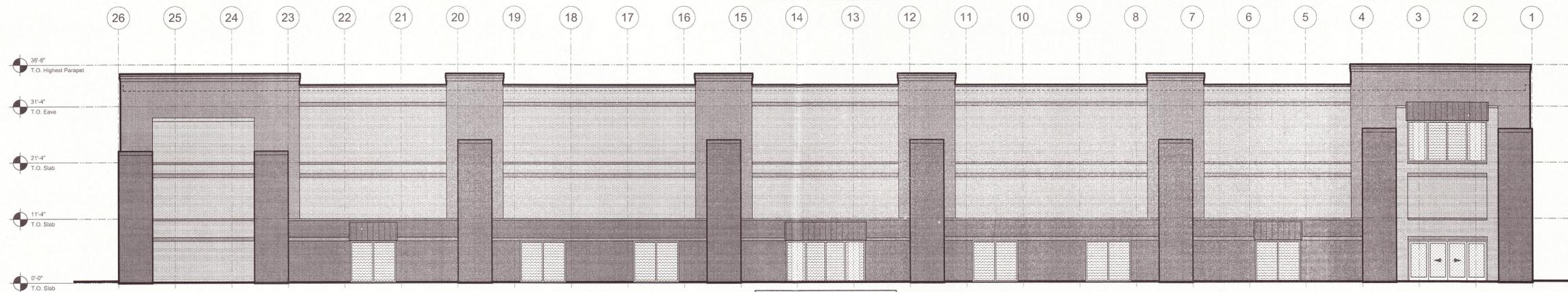
SHEET L1.1
5 OF 6

PRELIMINARY

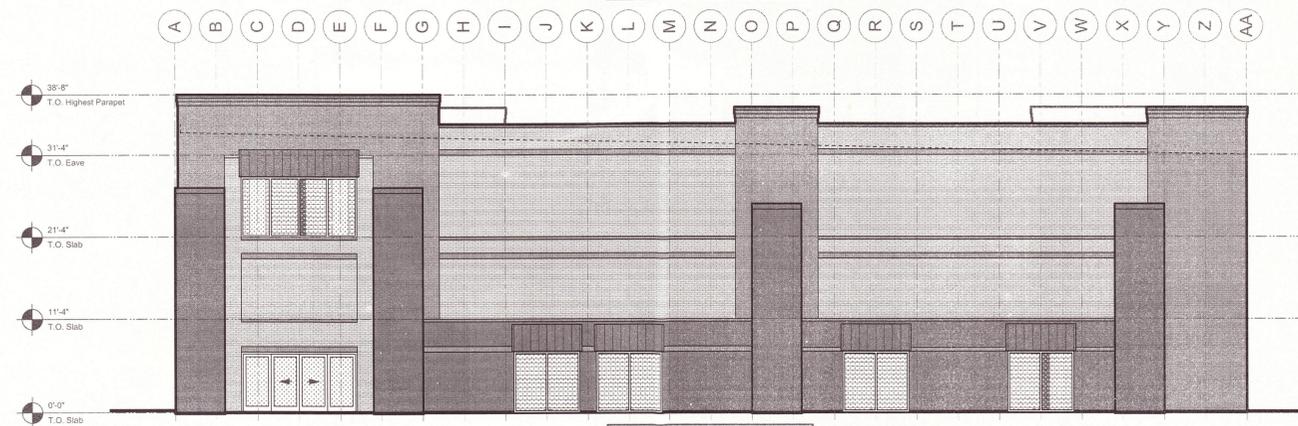
SCALE IN FEET
0 20 40 80 120 160



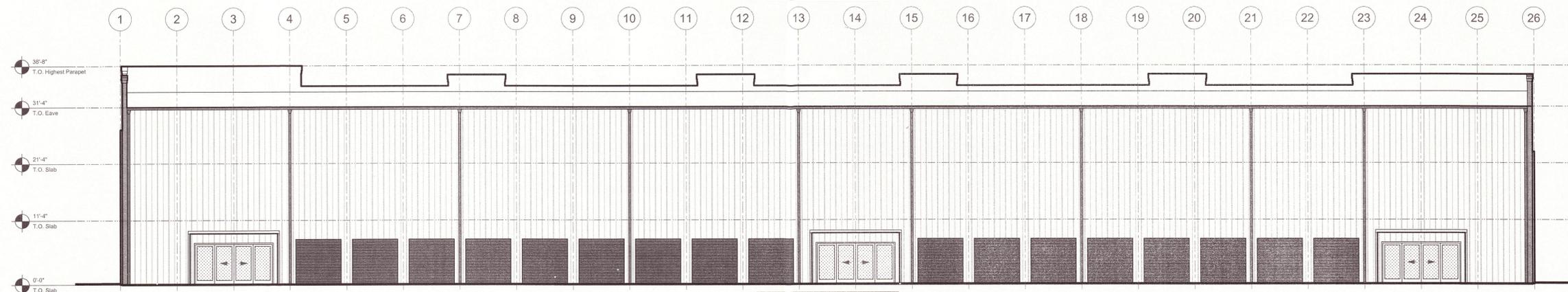
A3 SIDE ELEVATION 1"=10'



A3 FRONT ELEVATION 1"=10'



A3 SIDE ELEVATION 1"=10'



A3 REAR ELEVATION 1"=10'



COTRAN HARRIS
ARCHITECTURE
MEMBER AMERICAN INSTITUTE OF ARCHITECTS
5725 OULANDERS DRIVE, SUITE E-1
WILMINGTON, NC 28403

NC42 CLAYTON

ELEVATIONS

VOICE 910-783-3433
FAX 910-783-3434
OFFICE@COTRANHARRIS.COM

SCHEMATIC DEVELOPMENT
NOVEMBER 3, 2013