

Jody L. McLeod
MAYOR

Bruce Thompson
TOWN ATTORNEY

Steve Biggs
TOWN MANAGER



Bob Satterfield
R.S. "Butch" Lawter, Jr.
Art Holder
Jason Thompson
COUNCIL MEMBERS

Michael Grannis
MAYOR PRO TEM

TOWN COUNCIL MEETING

MARCH 16, 2015

AGENDA

MAYOR AND TOWN COUNCIL

**MAYOR JODY L. MCLEOD
MAYOR PRO TEM MICHAEL GRANNIS
COUNCILMAN BOB SATTERFIELD**

**COUNCILMAN ART HOLDER
COUNCILMAN R.S. "BUTCH" LAWTER, JR.
COUNCILMAN JASON THOMPSON**

TOWN STAFF

**STEVE BIGGS, TOWN MANAGER
KIMBERLY A. MOFFETT, TOWN CLERK
BRUCE THOMPSON II, TOWN ATTORNEY**

AGENDA
THE WORK SESSION MEETING OF THE CLAYTON TOWN COUNCIL

MONDAY, MARCH 16, 2015
6:30 PM

THE CLAYTON CENTER
COUNCIL CHAMBERS

1. **CALL TO ORDER**
Pledge of Allegiance & Invocation

2. **ADJUSTMENT OF THE AGENDA**

3. **CONSENT AGENDA**
(Items on the consent agenda are considered routine in nature or have been thoroughly discussed at previous meetings. Any member of the Council may request to have an item removed from the consent agenda for further discussion.)
 - a. **Draft Minutes – February 2, 2015 and February 19, 2015**
 - b. **Resolution #2015-08 –Transferring duties of Deputy Town Clerk**

4. **INTRODUCTIONS AND SPECIAL PRESENTATIONS**
 - a. **2014 Electric Department Report**
 - b. **Library Card Fees**
 - c. **Clayton Police Department Annual Report**

5. **PUBLIC HEARINGS**
 - a. **Public Hearing – PDD 2014-127 – Steeplechase Planned Development – Rezoning to PD-MU**

Potential Action: Table Public Hearing

 - b. **Public Hearing – PSD 2014-128 – Steeplechase Planned Development – Preliminary Plat/Master Plan**

Potential Action: Table Public Hearing

6. **ITEMS SCHEDULED FOR THE REGULAR MEETING AGENDA**
 - a. **The Fresh Air Fund Proclamation**
 - b. **Amendments to Municipal Records Retention & Disposition Schedule**
 - c. **Surplus Property Resolution**
 - d. **Special Event – Clayton Road Race**
 - e. **Special Event – Santa Baby Road Race**
 - f. **Special Event – Zaxby’s Movie Night**
Potential Action: Place on April 6, 2015 Consent Agenda

7. **ITEMS CONTINGENT FOR THE REGULAR MEETING**
 - a. **Warranty and Dedication Acceptances:**
Public sewer utility and all pertinent easements:
 - **Spring Branch Medical Park Phase2, Smith Packet AL Facility**
 - **Chandlers Ridge (Old Lyndale) Subdivision, Phase 2**

Potential Action: Place on April 6, 2015 Consent Agenda
8. **ITEMS FOR DISCUSSION**
9. **OLD BUSINESS**
10. **STAFF REPORTS**
 - a. **Town Manager**
 - b. **Town Attorney**
 - c. **Town Clerk**
 - d. **Other Staff**
11. **OTHER BUSINESS**
 - a. **Informal Discussion & Public Comment**
 - b. **Council Comments**
12. **ADJOURNMENT**

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 3a

Meeting Date: March 16, 2015

TITLE: Minutes

DESCRIPTION: Draft Minutes from February 2, 2015 and February 19, 2015

RELATED GOAL: Administrative

ITEM SUMMARY:

Date:

Action:

Info. Provided:

3-16-15

Approval

Draft Minutes

MINUTES
Clayton Town Council
February 2, 2015

The first regular meeting of the Clayton Town Council for the month of February was held on Monday, February 2, 2015, at 6:30 p.m. at Town Hall, 111 East Second Street.

Present: Mayor Jody McLeod, Mayor Pro Tem Michael Grannis, Council Member Jason Thompson, Council Member Art Holder, Council Member R.S. “Butch” Lawter and Council Member Bob Satterfield

Staff Present: Steve Biggs; Town Manager, Nancy Medlin; Deputy Town Manager, Katherine Ross; Town Attorney, David DeYoung; Planning Director, Stacy Beard; Public Information Officer, Catherine Whitley; HR Director, Tommy Roy; IT Technician, Christie Starnes; Library Director, R.W. Bridges; Police Chief, Tim Simpson; Public Works Director, Bruce Naegelen; Downtown Development Coordinator, Lee Barbee; Fire Chief, Dale Medlin; Electric Systems Director and Kimberly Moffett; Town Clerk

1. CALL TO ORDER

Mayor McLeod called the meeting to order at 6:32 p.m. and led the Pledge of Allegiance as well as offering the Invocation.

2. ADJUSTMENT OF THE AGENDA

3. CONSENT AGENDA

(Items on the consent agenda are considered routine in nature or have been thoroughly discussed at previous meetings. Any member of the Council may request to have an item removed from the consent agenda for further discussion.)

- a. **Warranty and Dedication Acceptances:**
 - Arbors at East Village
 - Summerlyn Subdivision, The Meadows
 - Creekside Commons
- b. **Approval of Special Events:**
 - Flag of Truce – April 11, 2015
 - Heart Chase – May 16, 2015
 - A Soldier’s Walk Home – May 18, 2015
- c. **Ordinance 2015-02-02 – Amend Code of Ordinances 92.03(C) – Interments**
- d. **Ordinance 2015-02-03 – Amend Code of Ordinances - Chapter 91 - Urban Archery Season 2016**
- e. **Ordinance 2015-02-04 – Amend Code of Ordinances - Chapter 115 - Licensing of Peddlers**

Action: Approval of Consent Agenda as presented

Motion: Thompson
Second: Holder
Vote: Unanimous

4. INTRODUCTIONS AND SPECIAL PRESENTATIONS

a. Peanut Butter and Jelly Drive

Mr. Denny Headington, a member of Horne Memorial Church, provided an overview of this event. The event is scheduled to be held on April 17 – 18, 2015 and will be held at Lowes Foods. All donations and proceeds will go to Clayton Area Ministries. Mr. Headington advised representatives from the Chamber of Commerce, Clayton Rotary and Boy Scouts would be present at event kickoff. Media will also be present. Council member thanked Mr. Headington and Mayor McLeod stated he looks forward to participating.

b. Pay and Classification Study

Ms. Becky Veazey provided detailed information regarding the process, importance and value in performing Pay and Classification studies.

Ms. Veazey provided copies of the recently conducted study to Council Members. Included in this document were three separate options for consideration.

Mayor McLeod thanked Ms. Veazey for the very thorough and detailed information provided. Council Members asked the Town Manager when feedback from council was needed. Mr. Biggs stated the first week of March would be preferred in order to incorporate it in the upcoming budget.

5. PUBLIC HEARINGS

a. Public Hearing – PDD 2014-111 - Park View Planned Development Rezoning to PD-R (Planned Development – Residential)

Mr. DeYoung, Planning Director, stated there were two components to this application. The first being rezoning and the second being the Master Plan/Preliminary Subdivision Plat.

Katherine Ross, Town Attorney advised this hearing would be an evidentiary hearing and advised of the type of testimony allowed in an evidentiary hearing. Additionally, Ms. Ross reminded the Town Council

that there was a valid protest petition and that a super majority vote would be necessary for approval of this item.

Mayor McLeod advised anyone wishing to offer testimony to step forward and be sworn in by the Town Clerk. The following were administered the oath; David DeYoung, Steve Biggs, Reid Smith, Donnie Adams, Travis Fluitt, Thad Avent, Troy Smith, Fred Smith, James Lipscomb, Ray Brincefeld, Janet Daniel, and Gary Bunn.

Mayor McLeod opened the Public Hearing at 7:27 p.m.

Mr. DeYoung offered information and background on these items.

This project is 82.94 acres located west of City Road and east of Liberty Lane and north of Municipal Park. The applicant is Donnie Adams The subject property is 9 parcels, and has frontage on Stallings Street and City Road. Property is currently both within the town limits and ETJ, annexation will be required.

Applicant is requesting a maximum of 330 units, equating to 4 units per acre, with mixed housing types with a cluster design that includes greenways, parks, garden and other amenities.

A total of 48.34 acres will be dedicated for open space. Where able, existing vegetation will be preserved to meet Class "C" buffer requirements along the north and south borders.

The project is consistent with the Strategic Growth Plan, Unified Development Code and the applicant has addressed the Findings of Fact for the Master Plan. A neighborhood meeting was held in October.

Planning Board recommended approval of the rezoning and the preliminary subdivision plat/master plan with conditions as recommend by staff. They also recommended approval of waivers.

Staff is recommending approval of PDD 2014-111 and PSD 2014-112 with conditions listed below and also recommending approval of the four requested waivers.

Conditions:

1. Following Board approvals, three copies of the Master Plan / Preliminary Subdivision Plan meeting the requirements of the Conditions of Approval shall be submitted to Planning Department for final approval.

2. The development of the site is limited to the site design and uses approved by the Town Council. Modifications to the approved Master Plan / Preliminary Subdivision Plan shall require review and approval in accordance with Section 155.705 of the Unified Development Code.
3. The Master Plan / Preliminary Subdivision Plan is considered a preliminary plat. Individual phases are subject to final plat review, except that Townhome phases that are not to be further subdivided shall be reviewed as a Major Site Plan.
4. Neighborhood parks and amenities shall be reviewed as Minor Site Plans prior to construction.
5. Annexation of all land not currently within Town Limits shall be required prior to Final Plat approval for the first phase of the development.
6. Development fees shall be paid for each phase prior to Final Plat approval. For phases requiring only Major Site Plan review, fees shall be paid prior to issuance of building permits. Recreation fees collected for the development shall be directed toward improvements at Legend Park.
7. Land shown as “dedicated to the Town of Clayton” shall be dedicated to the Town prior to Final Plat approval for the first phase of the development.
8. A combination of dedication and fee-in-lieu is being utilized to meet recreation and open space requirements. To meet requirements, additional recreation area must be dedicated or a recreation fee-in-lieu shall be required at the established rate to supplement the dedicated land (land considered Resource Conservation Areas does not count toward meeting recreation and open space requirements).
9. Traffic improvements as recommended by NCDOT shall be installed prior to the issuance of a certificate of occupancy for the phase that generates the need for the improvement. Additional right-of-way necessary for City Road shall be dedicated as a part of the first phase of the development.
10. The access drive to the development shall align with the Legend Park driveway.
11. All roof mounted and ground mechanic equipment not associated with single family detached residential development must be completely screened from view.

12. Five foot wide sidewalks are required along one side of each road within the development. Ten foot wide paved multi-use paths shall be installed as shown on the Master Plan to justify the waiver of the sidewalk requirement on both sides of each road. An Engineer's estimate which documents the cost allocations (in linear footage) between the deleted five foot concrete sidewalk and the proposed 10 foot asphalt multi-use path is required. Any cost shortage between the required five foot sidewalk and 10 foot multi-use path shall be paid as a fee-in-lieu.
13. All sidewalks and greenways shall be bonded or constructed prior to plat recordation for the associated phase.
14. Sam's Branch Greenway shall be bonded and constructed prior to the platting of phase II of the Development.
15. Internal greenway shall be constructed prior to the first Certificate of Occupancy for the adjacent phase.
16. The neighborhood garden plot shall be completed prior to the platting of phase 5 of the development.
17. The acreage of passive and active recreation areas identified in the Master Plan shall be considered minimum requirements and may not be reduced without approval by the Town Council. The recreation areas shall be constructed concurrent with the construction an adjacent phase.
18. A Class C Buffer and the 10 foot paved greenway shall be constructed along City Road prior to the issuance of the first Certificate of Occupancy. Class C buffers around the remainder of the site shall be installed concurrently with construction of the associated phase of the development.
19. A mix of at least three housing types shall be required and shall be selected from the list of housing type options presented in the regulating plan. The specific percentage of each housing type shall be flexible, but shall be chosen from the housing and lot types established in the regulating plan, and are subject to approved setbacks and dimensional standards established for each housing/lot type in the regulating plan. In no case shall the maximum density exceed 4 units per acre (330 units). Detached single family lot types may be considered as separate housing types with approval by the Planning Director so long as the lot sizes vary and permit a variety of housing styles/sizes.

20. Final location and configuration of Cluster Mailbox Units (CBUs) shall be determined in the final plat/site plan review (as applicable) for each phase. CBU's are required to have sidewalk /pedestrian access and must be approved by the USPS.
21. All external project access points must connect to an existing/future public right-of-way built to Town of Clayton standards. If the external connection is to right-of-way not built to Town standards, the right-of-way will need to be brought into compliance by the developer.
22. No more than 75 certificates of occupancy may be issued within the subdivision until the required secondary access has been constructed or bonded for construction.
23. No more than 250 certificates of occupancy may be issued within the subdivision until the required third access has been constructed or bonded for construction to the property line in the northwest corner of the development.
24. Street tree species shall be approved by the Town Engineer and Town Planning Director as part of individual phase final plat / major site plan review.
25. All signs shall require review and approval pursuant to §155.713.
26. Final design of individual elements identified within the Regulating Plan (such as lighting, recreation, or housing elevations) may be modified during individual phase review without need to modify the Regulating Plan, but shall be approved by staff and shall respect (or exceed) the intent and vision of the original approval/design shown in the Regulating Plan, including but not limited to quality, style, and materials. Modifications that are determined by the Planning Director not to meet or exceed the original intent or do not classify as "minor" modifications per §155.705 shall require major review and approval.
27. The review and approval of project water, sewer, storm drainage and street construction drawings is a separate process. Two sets of these drawings must be submitted for approval to Public Works Department when they become available.
28. Resource Conservation Areas as defined in Article 5 of the Unified Development Code shall remain undisturbed pursuant to standards of Article 5, and shall be shown on all plats as being permanently set aside pursuant to §155.500(C).
29. Prior to site grading and construction activities, tree protection fencing shall be installed around all resource conservation areas.

Once the tree protection fence is installed, it must be inspected by the Planning Department before construction activities begin.

30. A homeowners association document shall be reviewed by staff and recorded prior to final plats. Such document shall assure responsibility for maintenance of all common facilities and provide adequate means for funding to do so.

Waivers:

1. Revised street Cross-Section.
2. Allow construction of 10 foot paved multi-use path/greenway on a linear foot-for-foot basis, in place of a fee-in-lieu. Fee-in-lieu would be required for the difference, in this case for 3,883 linear feet of sidewalk (assuming waiver of requirement for 8,493 linear feet of sidewalk and provision of 5,110 linear feet of multi-use path).
3. Allow the required third entrance to be constructed to the property line in the northwest corner of the development with the understanding that connectivity will occur when the adjacent property is developed.
4. Allow a cul-de-sac with a length greater than 700 feet to serve lots less than 20,000 square feet in size.

A discussion was held regarding traffic analysis. Mr. DeYoung stated there were no issues with the report that indicates additional traffic would have a significant impact on either City Road or Covered Bridge Road. Question was raised regarding consideration being given to other pending developments in the study. Mr. DeYoung stated there is no requirement to incorporate any possible future development into studies, only the approved development.

Discussion turned to concerns raised at neighborhood meeting and Civitan Club activities that take place in the park during the evenings and on weekends. Mr. DeYoung stated the developer would address this issue.

Mr. Reid Smith addressed the Council and introduced a team of professionals that have been working on this development; Donnie Adams (Engineer), James Lipscomb (Real Estate Broker), Travis Fluitt (Engineer), Thad Avent (Certified Appraiser), Ray Brincefeld (Consultant), Law Kristoff (Attorney), Fred Smith and Brad Carroll.

Mr. Reid Smith spoke about the history and story of the project. He stated all units would back up to open space and this will be a maintenance-free community. Additionally this will have a new concept of an agri-community, which will allow space for neighborhood garden plots with shared resources. The idea behind this concept is to create a

neighborhood where neighbors know each other and spend time with each other. Other highlights include a gazebo, walking trails, connectivity to downtown and access to the Riverwood golf courses and athletic clubs.

Mr. Smith addressed the issue of the neighborhood meeting and stated overall good feedback was received. He stated there were concerns raised from the Civitan Club about the possibility of complaints from future residents regarding noise from events held in the park. Mr. Smith stated he had met with the Board from the Civitan and advised that all future residents would be advised of events and activities in the park. Additionally, language will be added to the conveyance regarding events at the park and possible noise and lighting issues. There will also be a purchase addendum signed by all residents advising of events that may take place in the park. Mr. Smith provided a copy of the disclosure statement as well as the addendum to Offer to Purchase and Contract that will be provided to all future residents.

Mr. Smith addressed traffic. He stated they support Town staff and NCDOT recommendations for a left turn lanes into project and Legend Park. Public safety is very important. The proposed second entrance will be on Stallings Street versus the previously proposed entrance on Liberty Lane. The third entrance will be constructed to the property at the northwest corner of the development, with the understanding that the connectivity will occur when the adjacent property is developed.

Mr. Smith stated all Four Findings of Fact have been met and asked that his expert team confirm these findings, which they did.

Mayor McLeod asked the Council if they had any questions.

Mayor ProTem Grannis thanked Mr. Smith for the very thorough and informative presentation. He asked for clarification regarding community garden being maintenance free. Mr. Smith stated that the neighborhood would be maintenance free, meaning that dwelling would be maintained by management. The community garden would be maintained by each individual who chose to have a plot and common space would be maintained by the association.

Discussion turned to any potential for over-crowding at existing facilities with regard to sports clubs and pools at Riverwood and Lions Gate.

Mr. Fred Smith addressed this question and stated the sports club has numerous pools and stated there is more available capacity than currently being used at pools, athletic clubs and golf courses. He does

not foresee any issues with capacity other than perhaps Memorial Day and Labor Day.

Council Member Lawter asked when the garden space and gazebo would be phased in. Mr. Reid Smith stated the gazebo would be part of Phase 1 and garden plots as needed.

Mayor asked anyone wishing to speak in opposition to please step forward.

Janet Daniel addressed the council and stated her concerns is that folks have forgotten the reason so many people have moved to Clayton was for the country atmosphere. She is concerned about open space, traffic on City Road, July 4th celebration, and trees currently located along the north boundary of the property

Troy Smith, a member of the Civitan Club stated he wanted to ensure that everyone remembers sporting events at the park are about the kids, lights at the park can be bright and kids can be noisy. He wants to make sure the Town continues to support the Civitan, should there be future complaints regarding these issues.

There was brief discussion regarding townhomes, rentals and home values. Mr. Thad Avent stated rentals should not impact the value of the homes.

Council Member Lawter had questions regarding responsibility of trees currently located in the right of way. Mr. DeYoung stated the Town would work closely with the developers. Mr. Biggs provided history regarding tree responsibility and stated the Town will treat trees as infrastructure and will take responsibility for trees.

Mayor Pro Tem thanked the Civitan Club for their service to the community. There was a brief discussion regarding ending times of events. Average ending time is 9:30 p.m., though there may a few exceptions.

Mayor McLeod asked for clarification regarding responsibility of maintenance. Mr. Reid stated the community/association would be responsible.

Council entered into deliberations at 8:43 p.m.

Mayor McLeod stated he appreciated the extra efforts the developer took to ensure everyone is aware of possibility regarding park and activities.

Action: Approval of PDD 2014-111 – ParkView Planned Development – and Approve Statement of Reasonableness and Consistency

Motion: Mayor Pro Tem Grannis
Second: Council Member Lawter
Vote: Unanimous

b. Public Hearing - PSD 2014-112 - Park View Planned Development Master Plan/Preliminary Subdivision Plat

Action: Reopen Public Hearing

Motion: Council Member Holder
Second: Mayor Pro Tem Grannis
Vote: Unanimous

Mayor Pro Tem confirmed with staff that the Planning Department is in agreement with all Master Plan Approval Criteria. Mr. DeYoung stated they were.

The Public Hearing was closed and turned over to Council for deliberation.

Action: Approval of PSD 2014-112

Motion: Council Member Lawter
Second: Council Member Thompson
Vote: Unanimous

c. Public Hearing – Text Amendment to modify §155.705(O) of the Unified Development Code

Mr. DeYoung provided information regarding modification which would allow minor subdivision adjustments be approved by staff. Major modifications would continue to be brought to Town Council.

The Public Hearing was opened. With no one coming forward to speak the hearing was closed,

Action: Approval of Text Amendment

Motion: Council Member Thompson
Second: Council Member Holder
Vote: Unanimous

- d. **Public Hearing - Annexation Petition 2014-12-01, FSC IV, LLC Property, Non-Contiguous; +/- 46.17 acres**

Mr. DeYoung offered presentation regarding the voluntary annexation of 46.17+/- acres. This property is also known at the Dupree Property and is located at 3131 Covered Bridge Road. This property is adjacent to Riverwood and 156 single family homes are planned.

The Public Hearing was opened. With no one coming forward to speak, the hearing was closed.

Action: Approval of Annexation Petition 2014-12-01

Motion: Mayor Pro Tem Grannis
Second: Council Member Lawter
Vote: Unanimous

- e. **Public Hearing - Annexation 2015-01-01, Town of Clayton Property, Little Creek Church Road; 67.14 acres**

This property was recently purchased by the Town of Clayton. The property is reserved for a future town park.

The Public Hearing was opened. With no one coming forward to speak, the hearing was closed.

Action: Approval of Annexation 2015-01-01

Motion: Mayor Pro Tem Grannis
Second: Council Member Holder
Vote: Unanimous

- f. **Public Hearing - Annexation 2015-01-02, Town of Clayton Property, River Park Property; 39.55 acres**

This property was recently purchased by the Town It is 39.55 acres and is known as the River Park Property as well as the Dupont Property. It is located on Covered Bridge Road and adjoins the 89 acre Massey Property located near the Neuse River. Future plans for this property is the development of a 120 acre town park.

The Public Hearing was opened. With no one coming forward to speak, the hearing was closed.

Action: Approval of Annexation 2015-01-02

Motion: Council Member Holder
Second: Mayor Pro Tem Grannis
Vote: Unanimous

6. OLD BUSINESS

a. Special Intensity Allocation 2014-153 – Caterpillar South Site

Mr. DeYoung provided overview regarding this request. Currently this site is limited to 24% and this request will increase that percentage to 70%. This increase will allow Caterpillar to expand their impervious surface to allow for an increased customer display area. Staff is recommending approval of this increase.

Action: Approval of Special Intensity Allocation 2014-153

Motion: Council Member Holder
Second: Council Member Lawter
Vote: Unanimous

b. Special Event – AlzNC –Johnston County Walk – May 30, 2015

Mr. Naegelen advised the date of the event was changed from May 9 to May 30, 2015. All other details of the event remain the same.

Action: Approval of AlzNC – Johnston County Walk

Motion: Mayor Pro Tem Grannis
Second: Council Member Lawter
Vote: Unanimous

c. 220 E. Main Street Building Project

Mr. Biggs advised the closing for this property is scheduled for February 6, 2015. Evaluations regarding financing proposals continue. Town Council stated they were in agreement for the Town Manager to move forward with advertising with regard to proposals from private investors. Investors would have the opportunity for incentive monies from the Town. Additionally, private investors may be eligible for federal historic tax credits for renovation of the building. It should be noted that Mr. Biggs stated the Town would offer no commitments until figure comparisons were completed.

Action: Move Forward with Proposals from Private Investors

7. NEW BUSINESS

a. Resolution supporting restoration of Historic Rehabilitation Tax Credit

Mr. Naegelen addressed the Council and asked for support of the restoration of the Historic Rehabilitation Tax Credit. To date more than 4600 signatures have been secured on a petition. This tax credit has helped bring more than a billion dollars in private investments to the State. Based on his participation with the League of Municipalities, Mayor McLeod stated it is doubtful the General Assembly will approve the restoration of the tax credit.

Action: Approval of Resolution in Support of Tax Credit Restoration

Motion: Mayor Pro Tem Grannis

Second: Council Member Holder

Vote: Unanimous

8. STAFF REPORTS

a. Town Manager

Mr. Biggs stated the time frame for an appeal regarding the demolition of the Red & White Building has now lapsed. The Town has moved forward with the contractor, who is working to gather all permits. Demolition should take place the first week of March.

b. Town Attorney

c. Town Clerk

- Calendar of Events

d. Other Staff

9. OTHER BUSINESS

a. Informal Discussion & Public Comment

Clayton resident, Minnie Feaster, who is unable to drive due to suffering a stroke six years ago, addressed the Council regarding Johnston County Area Transit System (JCATS). She implored members to somehow find a way to fund this invaluable transportation service. Recently this service has been denied to more than 1,000 Johnston County residents and Minnie is one of those denied. The lack of this services means that folks no longer have transportation to medical and other appointments. Minnie spoke about how this has personally affected her as well as many others.

b. Council Comments

Mr. DeYoung provided an update on the Steeplechase project and stated the developer planned to hold another neighborhood meeting. This meeting is scheduled for February 12, 2015 beginning at 7:00 p.m. The meeting will be held in the Clayton Center Rotary Room. An updated report will be provided at the February 16, 2015 Town Council Work Session. The Planning Board will meet on February 23, 2015 and would vote at this meeting on whether to recommended approval of the project

to the Town Council. Town Council would then hold the Public Hearing on March 2, 2015. No special joint meeting between the Planning Board and the Town Council will be held.

10. ADJOURNMENT

With there being nothing further the meeting was adjourned at 9:20 p.m.

Motion: Council Member Satterfield
Second: Council Member Lawter
Vote: Unanimous

MINUTES
Clayton Town Council
February 19, 2015

This meeting was scheduled from February 16, 2016 due to inclement weather.

Present: Mayor Jody McLeod, Mayor Pro Tem Michael Grannis, Council Member Butch Lawter, and Council Member Holder. Council Member Jason Thompson arrived at 3:45 p.m.

Absent: Council Member Bob Satterfield

Staff Present: Steve Biggs, Town Manager; Nancy Medlin, Deputy Town Manager; Jay McLeod, Planner; David DeYoung, Planning Director; Stacy Beard, Public Information Officer; Bruce Naegelen, Downtown Development Coordinator; John McCullen, Town Engineer; James Warren, Lab Superintendent; Tim Simpson, Public Works Director; Ann Games, Customer Service Director; Katherine Ross, Town Attorney and Kimberly Moffett, Town Clerk.

1. CALL TO ORDER

Mayor McLeod called the meeting to order at 3:05 p.m. and led the Pledge of Allegiance as well as offering the Invocation.

2. ADJUSTMENT OF THE AGENDA

No adjustment of the agenda was made.

3. CONSENT AGENDA

- a. Draft minutes from January 20, 2015

Action: Motion for Approval of Consent Agenda as presented

Motion: Council Member Holder

Second: Council Member Lawter

Vote: Unanimous

4. INTRODUCTIONS AND SPECIAL PRESENTATIONS

- a. Introduction of new Town of Clayton employee(s)

- Rick Burton was introduced by John McCullen. Mr. Burton is originally from Asheville and will be serving as a Building Enforcement Officer. Mr. Burton is happy to be part of the team.
- Jennifer Proctor was introduced by Steve Biggs. Jennifer will serve as the Senior Administrative Support Specialist in the Town Managers office. Jennifer served in this role on a temporary basis

during the maternity leave of the previous Senior Administrative Support Specialist and is excited to be a full time staff member of the Town.

- Christy Anastasi was introduced by Kimberly Moffett. Christy will serve as the Administrative Support Specialist/Deputy Town Clerk. Christy has also served in both the Customer Service Department as well the Human Resources Department. Christy stated she is excited to be part of the Town Clerks Office.
- Wanda Warren was introduced by Stacy Beard. Wanda will serve as the Public Information Assistant. Wanda previously worked for the Town in Clayton Center several years ago and is very excited to be back with the Town of Clayton.

5. ITEMS SCHEDULED FOR THE REGULAR MEETING AGENDA

a. Reimbursement Resolution – Water Reclamation

Mr. Warren provided additional information regarding this Resolution. This resolution allows the town to reimburse itself for expenses related to waste water treatment plant improvements. It is anticipated that all work will be completed by fall 2015.

Action: Place on March 2, 2015 Consent Agenda

b. Arbor Day Proclamation

Arbor Day will be held on Friday, March 20, 2015. The location of the annual tree planting will be announced shortly.

Action: Place on March 2, 2015 Consent Agenda

c. PSD 2014-145 – Lions Gate – Phases 7A, &B, 7C & 7D

Mr. DeYoung provided an overview of PSD 2014-145. The applicant is DC Adams Engineering and the project will be for new phases of the existing Lions Gate Subdivision, which is located off of Amelia Church Road. It will consist of approximately 10 acres and 82 new townhomes will be built.

The project is consistent with the Town's Unified Development Code and Strategic Growth Plan. Both staff and the Planning Board recommend approval with conditions as listed in Staff Report.

Mayor Pro Tem Grannis stated the applicant needed to ensure that Findings of Fact #3 is substantiated.

Action: Set Public Hearing for March 2, 2015

d. SUP 2014-143 - Murdock Solar Farm

Mr. DeYoung provided an overview of this Special Use Permit. The applicant is Sunlight Partners LLC and they propose to build a 21+ acres solar farm. This would be located at 2633 Guy Road which is a 31.9 acre parcel.

This project is consistent with the Strategic Growth Plan and Unified Development Code. Staff recommended approval of the Site Plan as did the Planning Board. Staff recommends approval of the Special Use Permit with the conditions as listed in the staff report.

With regarding to Finding of Fact #3 Mayor Pro Tem Grannis had some concern regarding property value and case study comparison versus a study being completed on this property. Mr. DeYoung stated the Planning Department did not have any issues and stated the assumption of the study is there will not be a negative impact on adjacent properties. Mayor Pro Tem Grannis stated he was a little concerned about that. Mayor Pro Tem Grannis also stated he believed there might have been a potential easement issue and asked if that had been resolved. Mr. DeYoung stated he would have the applicant address that but stated they did have an alternative location for access should the easement not work.

Action: Set Public Hearing for March 2, 2015

e. PDD 2014-127 – SteepleChase Planned Development – Rezoning to PD-MU

Mr. DeYoung stated this was a very large project and further stated that he would be presenting both PDD 2014-127 and PSD 2014-128 together. Mr. DeYoung also stated that he had recently met with the developer with regard to some changes that would occur.

The first approval is a rezoning PDD 2014-127, which is for 631.06 acres for multiple zoning districts R-E, B2, R8 and R10, mixed used.

The second approval is for PSD 2014-128 for overall Master Plan of SteepleChase Planned Development, which is acting as a Preliminary Subdivision Plat.

Mr. DeYoung offered history on this property, which was rezoned to R8, R10 and B2 in 2005 for another large development which was known as Biltmore. Back in 2005 we did not have Planned Development Zoning, in lieu of doing that they came in with a plan and actually zoned various areas for uses to be put in those areas. Following that rezoning it was annexed into the town limits on March 20, 2006 and following that it was

approved as the Biltmore Subdivision by the Town Council on August 21, 2006. It was approved for 1174 single family homes, 1120 town homes and 57,000 square feet of commercial. At that time wastewater application requested of approximately 563,480 gallons per day and set aside a location for a school site of 23.38 acres. The economy took a down turn and the development stopped. The entire property is located within town limits.

Mr. DeYoung explained the reasoning behind Planned Development Zoning. He stated it requires a Master Plan, establishes maximum density, establishes an overall form of community and requires higher standards than a straight subdivision.

The applicant is requesting a 445 acre project with a maximum of 2200 mixed used residential with 10 acres set aside for commercial use. 65 acres will be open space, 111 acres reserved for conservation and 24 acres set aside for a school site. It is proposed to take place in a total of 36 phases, with phases 1-15 taking place on the south of Covered Bridge Road, phases 16-34 on the north side of Covered Bridge Road and phase 35 is for active recreation. Commercial is a future phase.

Traffic improvements will be tied into phases. Mr. DeYoung stated that staff requested the developer to review their traffic study and improvements. Additionally, Mr. DeYoung stated staff has also requested NCDOT to review their traffic study recommendations and currently there is no definitive time frame when that would be completed. Mr. DeYoung stated he believed mostly likely there would be delays with regard to holding the Public Hearing on March 2, 2015 due to traffic issues. He stated that traffic matters are the largest concern of this project.

Mr. DeYoung stated he has had conversation with school district representatives who stated the appropriate site size for a school would be 28-38 acres, rather than the 24 acres currently reserved. Mr. DeYoung has made the developer aware of this, who is analyzing adding additional acreage.

Also addressed was location of apartments and condominiums. The developer feels he is locked into the current location, however he may have some flexibility with regard to the townhomes and single family housing. This issue was raised at neighborhood meetings, when residents had concerns about townhomes being directly adjacent to their established community in Smith Ridge. Staff is currently working with the developer with this issue and is hopeful that single family homes may back up to this location rather than townhomes. The developer will continue work on this and attempt to figure out relocation for townhomes.

With regard to access at both Smith Ridge and Old Mill Stream, there is currently only one access point in and out. Both communities appear to be unwavering in the fact that they do not want additional connectivity. However, staff believes some type of fire/emergency service entry point is needed on Smith Drive and Michael Way. Developer has suggested a design that would use pavers, allowing grass to grow on top and giving the appearance that location is not a road. Another alternate would be a gate that would be activated via siren. Mr. DeYoung and staff are concerned that both options could become a future maintenance issue.

Again, Mr. DeYoung stated the largest concern for this development is traffic issues and that staff will continue to do all that is possible to address these concerns as the process moves forward. The NCDOT has agreed to put out roadway strips in order to gain accurate traffic data/counts on City Road and Covered Bridge Road.

The project is generally consistent with the Strategic Growth Plan, is consistent with Land Use Map. If rezoning is approved it will be consistent with our Unified Development Code. The applicant has addressed the Findings of Fact. The applicant did hold a neighborhood meeting and additionally a second neighborhood meeting was held. Both meetings were very well attended.

Staff is recommending approval of rezoning PDD 2014-127 and staff is recommending approval of PSD 2014-128 subject to conditions of approval as modified by staff.

Mayor McLeod asked for questions and comments.

Council Member Lawter thanked staff, the developer and community for working together. He stated much progress has been made in two months and believes we are moving towards something that will be best for the community. He stated he also has concerns about the traffic and understands this takes a long time. He believes all information needs to be gathered prior to council making a decision.

Mayor Pro Tem Grannis echoed the sentiments of Council Member Lawter with regard to gathering all information. He believes we do not need to rush and this is a real opportunity to do something wonderful for the community. He understands that not everyone is going to be satisfied and feels the town is doing a very good job at listening to all concerns. He feels there is a good amount of give and take occurring on the part of staff, the developer and the citizens.

Mayor Pro Tem Grannis had a question regarding density which currently states is 4 units per acre, but could change. He questioned at which point

in the process would that change take place. Mr. DeYoung stated staff would ensure the density did not exceed the maximum. Another concern addressed by Mayor Pro Tem Grannis related concerns he has heard from citizens relating to locations of townhomes and apartments. Mr. DeYoung stated that while the developer seems set on the location of the apartments; they are bordered by townhomes. Staff has requested the developer take a look at what is proposed next to Ole Mill Stream and Smith Ridge and perhaps consider additional buffers. The developer states he needs to be mindful and have flexibility based on the market at time of development. Mayor Pro Tem Grannis thanked Mr. DeYoung for the outstanding presentation.

Council Member Thompson stated his concern revolves around the connectivity. He feels if there is an access point people will still treat it as though it were a road and will cut through. He would like to hear more from the residents with regard to this issue.

Council Member Lawter stated he has had a conversation with the Fire Chief who has concerns about the proposed access and would like to be sure and have input regarding plan.

Mayor McLeod stated he heard the greatest concerns from neighbors are the impact of traffic, addition of access to Smith Ridge and Ole Mill Stream and apartments being adjacent to Smith Ridge. Mr. DeYoung stated that residents of Smith Ridge and Ole Mill Stream are happy with how the property is currently. Mayor McLeod stated he believes there is a market for estate homes in Clayton. The Mayor stated he wants to make sure the Council has all the information they need, but also believes time is money and he does not want us to be the reason this project is dragging. He wants to ensure that staff connected to all necessary folks and make sure we receive all needed information so the developer is not held up due to technicalities on our part. Mr. DeYoung stated he believed the developer is aware that the town is trying to move forward as efficiently as is possible. Mayor McLeod asked for clarity regarding traffic patterns, specially the north side and topography issues. Mr. DeYoung stated it is trying to be determined if traffic funneled down Brookhill Drive might be disbursed in a better pattern. Mr. DeYoung stated we want to ensure all options are on the table.

Mayor Pro Tem Grannis asked if there currently was connectivity between Smith Ridge and Ole Mill Stream. Mr. DeYoung stated there was not. Mayor Pro Tem Grannis stated his concern if there is no connectivity, the issues involving with school buses. No connectivity would mean that school buses would have to go in and out of 3 developments at 3 different times on Covered Bridge Road to pick up children and this in itself is an increased risk.

Action: Set Public Hearing for March 2, 2015

- f. PSD 2014-128 – SteepleChase Planned Development - Preliminary Plat/Master Plan

Action: Set Public Hearing for March 2, 2015

- g. Special Event 2014-129 – Millstock Art and Music Festival

Mr. Naegelen presented an overview of this event, which is organized by Clayton Visual Arts. It is scheduled to be held on June 6, 2016 from 10:00 a.m. until 5:00 p.m. The day will include artists, vendors, children's activities, music and this year will addition of food trucks. It is proposed to expand this year. Previously this event was held on Horne Square and Lombard Street to Second Street and they are requesting this year to close Main Street from Smith to Barbour. Approximately 60-80 arts vendors are expected along Main Street with approximately 1500 visitors to attend throughout the day. Set up will begin at 7:00 a.m. and clean up by 6:00 p.m. Mr. Naegelen provided a PowerPoint presenting showing the proposed layout of the event with food trucks along Main Street and music on Lombard Street. There will also be beer and wine sales and all necessary permits will be obtained. The Special Events Committee recommends approval of the event.

Mayor Pro Tem Grannis asked about the history of street closing time. Mr. Naegelen stated the street closing and reopening times remain the same as in previous years. Mayor Pro Tem Grannis had some concerns regarding the location of the food trucks being directly across the street from two restaurants. He suggested that the food trucks be relocate, perhaps east of Lombard. Mayor McLeod agreed and stated he shared some concerns regarding the location of the food trucks. He suggested if it was possible to relocate the food trucks along the side of Home Towne Realty going into Horne Square Circle or on the north side of the circle. He suggested having more density north and south versus east and west.

Council Members Lawter and Thompson agreed that north and south orientation is a better choice for food trucks.

Staff was asked to bring a revised layout to the March 2, 2015 meeting.

Action: Place on March 2, 2015 Agenda with Revised Layout

- h. Special Event 2015-02 – Town Square Concert Series

Mr. Naegelen stated the 2015 Town Square Concert Series will begin on May 21st and will be the third Thursday of the month. This event is held at Town Square and is organized by the Clayton Downtown Development Association. Starting time of the event is 6:00 p.m. and ending time of music is no later than 9:30 p.m. On average these concerts bring out approximately 1,100 people. Beer and wine will be served. The layout will remain the same as in the past. Special Events Committee recommends approval of the event.

Action: Place on March 2, 2015 Consent Agenda

i. **Proposed Ordinance Amendment Related to Right-Of-Way Encroachments**

Mr. Biggs provided background on this item which was originally discussed at retreat. The intent of this ordinance is to ensure any third party completing work be required to file plans and ensure that work is completed satisfactorily.

Action: Place on March 2, 2015 Consent Agenda

6. **ITEMS CONTINGENT FOR THE REGULAR MEETING**

a. **Warranty and Dedication Acceptances:**

Asphalt pavement subject to one year warranty period.

- Chandler's Ridge (Old Lyndale), Phases 1 & 2

FINAL Asphalt. Upon approval, Town will assume all maintenance duties:

- Spring Branch, Phase 1
- Glen Laurel East, Phases 2A & 2B

FINAL Public Water, Sewer, Associated Storm Drainage Utilities, All Pertinent Easements. Upon approval, Town will assume all operation and maintenance duties:

- Spring Branch Commercial Subdivision, Phase 1
- Spring Branch Medical & Commercial Park, Phase 2
- South Tech Park/Harvest Mill Lane

Action: Place on March 2, 2015 Consent Agenda

7. **ITEMS FOR DISCUSSION**

a. **Watershed Protection Overlay Update**

Mr. DeYoung provided an updated report with reference to Special Intensity Allocation. To date 532 acres have received the allocation and approximately 124 acres remain. Mr. DeYoung noted that it may be

possible that parcels allocated prior to 2006 may be exempt. Mr. DeYoung will follow up with the town attorney.

Mr. DeYoung stated that from this point forward a running total would be provided to council any time a request were made.

b. Legislative Agenda

- Support NC League of Municipalities “Municipal Advocacy Goals”
- Seek Restoration or Replacement of North Carolina Historic Preservation Economic Development Tax Credit

Mr. Biggs stated he would provide this report at the March 2, 2015 meeting.

c. ABC Referendum

Ms. Ross provided background on the Town of Clayton’s malt liquor/beer regulations. In 1997 residents passed a referendum allowing on premise consumption. This on premise allowance pertains to hotels, motels and restaurants. Since that time the area has grown and an interest is being seen in establishments like bottle shops and breweries. It is suggested the Council may want to re-examine the issue to ensure it is not becoming outdated. Raleigh, Apex and Wake County have updated their ordinances.

Mayor McLeod stated this item needs to be included on the agenda for the Council Retreat.

Mayor Pro Tem Grannis asked about breweries and Mr. Biggs stated there is an allowance for breweries.

Action: Discussion at Council Retreat

d. Budget Calendar & Schedule Budget Work Session

Mr. Biggs provided all members with a copy of the budget calendar/timeline. It is an accelerated schedule over past years. Each department will present to a budget review team between March 26th and April 6th. The Town Council budget work session will be scheduled for May 13th at 6:00 p.m.

8. OLD BUSINESS

9. STAFF REPORTS

a. Town Manager

Mr. Biggs reports the developer at Riverwood indicated they would be finishing the final layer of the community paving in April

- b. Town Attorney
- c. Town Clerk
 - Calendar of Events
- d. Other Staff

10. OTHER BUSINESS

a. Informal Discussion & Public Comment

- Lesia Mills, a resident of Smith Ridge estates, a subdivision bordering the Steeplechase proposal, stated that her community adamantly opposes a cut-through access. She said her neighborhood has existed since the 80's and that while residents appreciate the concern from Town staff for their safety, they do not need a cut-through. Currently, they are able to tell who lives in their community and who does not belong and they recognized and know the children of their community. They will lose this if their community becomes a cut-through to large development. Mills stated she would like to see the Earp property stay the way it is, or developed as a green space for the general public. She had hope the Town could join with Johnston County to purchase the land to develop into a destination park. The closest place offering views like that property is the Blue Ridge parkway and she hates to think of it covered in houses and pavement. She lamented that Clayton was going to lose a jewel. She stressed that Town Council had the power to disapprove of this mixed-use development and to force a condition that it must be developed as estate homes. This would reduce the traffic impact. The land, views and rural feel are why she and her neighbors moved to Clayton and new development going in around her are not supposed to be a detriment to her property or neighborhood – yet she claims it will be. She would like to see commercial areas concentrated to the US 70 corridor and not spread throughout Town. She fears Clayton will simply become an appendage of Raleigh, like Cary. She stated she would not like to see Town Council approve this development unless it is an estate community.

- Garret Morgan, a resident of Smith Ridge, stated that he moved here in 2007 because of the beautiful area. He said he has known about the potential for development around his home and he fully accepted that Clayton was growing. He did not, however, expect that this property would be rezoned for mixed-use. He said he was aware development was coming, but had hoped it would be compatible with his neighborhood. Mixed-use is not compatible. He questioned what would prevent a gas station from popping up in this development with underground tanks that could threaten the well water that so many of the existing residents use. He stated that he is concerned about the Neuse River and the challenging topography of Steeplechase. He says he has seen no plans at all to

mitigate run-off or how the developer plans to safeguard streams. He knows riparian buffers are very expensive especially when they are required along a road. He reminded the Town Council members of their goal of making Clayton a premiere destination and challenged them to stick to that goal and not allow this area to become like Cary, or to be like Riverwood. He challenged them to make Clayton a place that people say, "That's where I want to live – that's beautiful."

- Thomas Connell of Smith Ridge Estates thanked the Town Council members for their dedication and for asking pointed questions of concern for this community and its growth. He stated that he had met Ms. Earp at the last neighborhood meeting and questioned her as to whether this was what he father had dreamed of and she stated that she could not answer but that the residents would be happy about this. He emphasized that this land is one of the best properties in Clayton and once you let it go, it's gone. His son lives in Riverwood and does not like the high-density living that leaves only 10 feet between you and your neighbor. He feels this community will be too dense as well. He asked Town Council to look into HOA rules and what will be done with dues. He claimed property values are dropping and that it is difficult to sell in Riverwood. Connell feared this developer will not have a comprehensive vision for the property, but instead will sell it to different builders who may take 20 years to build out the community. He encouraged Town Council to look what was going on in the market. He challenged them to take a step similar to Cary which called for a moratorium on development because of overcrowding in schools and traffic concerns. He did not want the Town Council to make to approve this and degrade the community.

- Jean Woodley of Smith Ridge estates spoke to Council Jason Thompson's question as to whether the residents really wanted a connection or access road through the community. She stated emphatically that they did not.

- Mark Altman, the HOA Chair of Ole Mill Stream, stated that he felt the process was working and that he was excited about the changes and revisions he saw happening to the plan. He said he did feel like concerns were being heard. He said while many are opposed to a cut-through, he would rather see buffers between the communities expanded. He challenged Town Council to help create something in Clayton we haven't seen before. Don't rush this, he said. If the traffic study comment are back next week, do not turn them around in one week and vote. He expressed his hope that staff and elected officials would take longer to consider such important matter. He also stated that this process has perhaps revealed gaps in the Town's ordinance that could help to guide and better control future developments and he implored the Town Council to tackle them now. He stated that Clayton can do better, for example, strengthening

buffer requirements, and the time to do that was now. He would like to be part of that process

b. Council Comments

11. ADJOURNMENT

Motion: Adjournment

Motion: Council Member Thompson

Second: Council Member Holder

Vote: Unanimous

With there being nothing further, the meeting was adjourned at 5:11 p.m.

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 3b

Meeting Date: March 16, 2015

TITLE: Resolution

DESCRIPTION: This Resolution will transfer the duties of the Deputy Town Clerk from the Deputy Town Manager to the Administrative Support Specialist in the Town Clerks Office.

RELATED GOAL: Administrative

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
3-6-15	Presentation	Resolution
3-16-15	Approval	Resolution

**TOWN OF CLAYTON
RESOLUTION
APPOINTMENT OF DEPUTY TOWN CLERK**

WHEREAS, NC GS 160A-172, permits the council to appoint a deputy clerk; and

WHEREAS, NC GS 160A-172, permits the council to specify the duties of the deputy clerk; and

WHEREAS, the Clayton Town Council rescinds Resolution #2009-009 adopted March 2, 2009, in which the Deputy Town Manager served as the Deputy Town Clerk; and

NOW THEREFORE BE IT RESOLVED by the Town Council of the Town of Clayton that the Town Clerk Administrative Support Specialist is hereby deputized to serve in the capacity of Town Clerk in the absence of the Town Clerk for the purpose of applying the town seal to official town documents. Be it further resolved that custodianship of the town seal, however, shall remain solely with the Town Clerk.

Duly adopted this 16th day of March 2015, while in regular session.

Jody L. McLeod
Mayor

ATTEST:

Kimberly A. Moffett, CMC
Town Clerk

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 4a

Meeting Date: March 16, 2015

TITLE: Presentation of the Electric Department Annual Report.

DESCRIPTION: Dale Medlin will provide an overview of the 2014 Electric Department's annual report.

RELATED GOAL: Administrative

ITEM SUMMARY:

Date:

Action:

Info. Provided:

3-16-15

Presentation

Annual Report

TOWN OF CLAYTON
ELECTRIC DEPARTMENT
ANNUAL REPORT FOR
2014





The Town of Clayton has once again attained the Prestigious Reliable Public Power Provider or RP₃ designation.

The Town of Clayton Electric Department has received the Electricities “No Lost Work Days” Safety Award for the last 5 years!

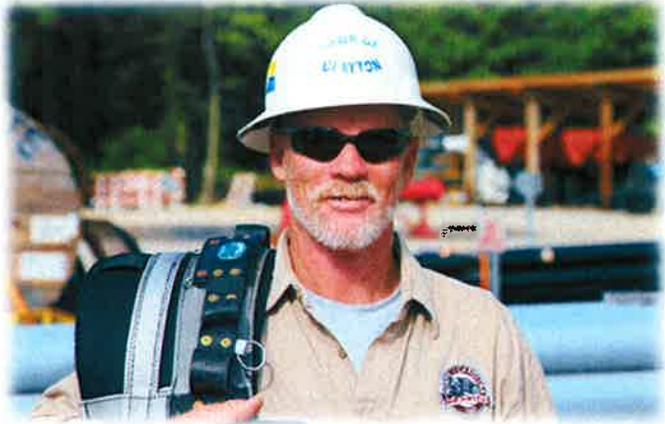
Electric Employees logged over 630 hours of job training and 342 hours of safety training in 2014.

The Town of Clayton also boasts one of the most experienced Electric Crews around. The seven men that constitute the Town of Clayton crew have

almost 110 years of combined electrical experience, over 67 of that with Clayton! The Town has 5 Journeymen, 1 Line Tech III, and 1 Line Tech I.

Your Town of Clayton Linemen

Electric Systems Superintendent and Journeyman, Barry Rose has been with the Town for over 18 years! When Barry started here he had over 14 years experience in 5 states already, working as a supervisor on a transmission crew and a distribution crew, as the lead lineman on a bank transformer crew and on a substation crew. Barry has served on the NC Association of Municipal Electric Systems Safety and Training Committee as well as serving on boards for the Boy Scouts and Little League.



Crew Leader and Journeyman, Mack Keen has served the town for the past 14 years. Before coming to Clayton, Mack worked as a lineman for Pike Electric, as a Tree Expert and Foreman for Asplundh for 16 years. Mack has served on the NC Association of Municipal Electric Systems Safety and Training Committee.

Crew Leader and Journeyman, Mert Woodall has served the Town for the past 10 years. Mert worked 12 years at Pike Electric as Foreman on an Underground Distribution Crew. He also serves on a Little League Board.





Senior Lineman and Journeyman, Jon Huber has spent his entire electric career here in Clayton, starting 13 years ago. Jon serves as the point man on the Town's Load Management Program ensuring new boxes are installed correctly as well as auditing older ones to make sure they are working properly.

Line Technician III Luke Smith started with the Town Electric Department 7 years ago. Before that he worked for Pike Electric and Ivey Smith for 5 years. Luke is currently pursuing his Journeyman Certification in the Lineman Career Development Program.



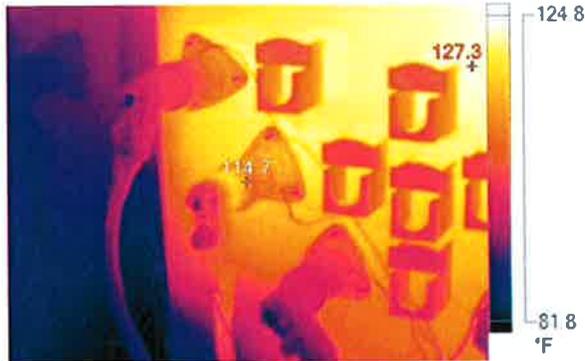
Senior Lineman and Journeyman, Shane Lawhorn joined the Town of Clayton Electric crew in 2011. Before that Shane worked for Duke Energy for 8 years as a lineman. While working for Duke, he received awards for serving as Chairman of the Safety Committee and on the Diversity Committee. Shane is on the board for the Glendale Parks and Recreation Organization and on the Glendale-Kenly Elementary School PTA.

Line Technician I Nick DiCecco started with the Town a year and half ago. Before coming to Clayton, Nick worked for Pike Electric and served his Country in the US Marines. Nick is currently pursuing his Lineman II Certification.



2014 New Equipment

Fluke Thermal Imager- Used to find hot spots on the electric system.

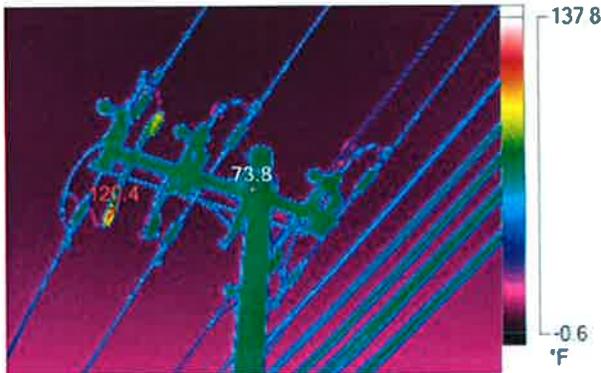


IR_00263.IS2



Visible Light Image

Thermal image of a three phase transformer shows a hot spot on a high voltage elbow.



IR_00471.IS2



Visible Light Image

Thermal image of a main overhead switch shows a lightning arrester going bad.

Over 500 thermal images were taken in the first phase of the new Infrared maintenance Program. Of those we found 1 "Extreme", 2 "Severe", 1 "Serious", and 10 "Bad" spots on the Electric System.

Trimble GPS Unit-Used to precisely map and layout new and existing electric facilities.



Nick DiCecco maps the location of electric facilities with the new Trimble GPS Unit.

Vonn Listening Device –
Used for finding electric faults in underground wires



Barry Rose looks for an electric fault with the Vonn Listening Device

RT45 Ditch Witch Trencher- Used for digging trenches to bury electric lines.



Luke Smith demonstrates the new Ditch Witch Trencher.

Tamp- Used for tamping the dirt back in the trench after laying electric lines.

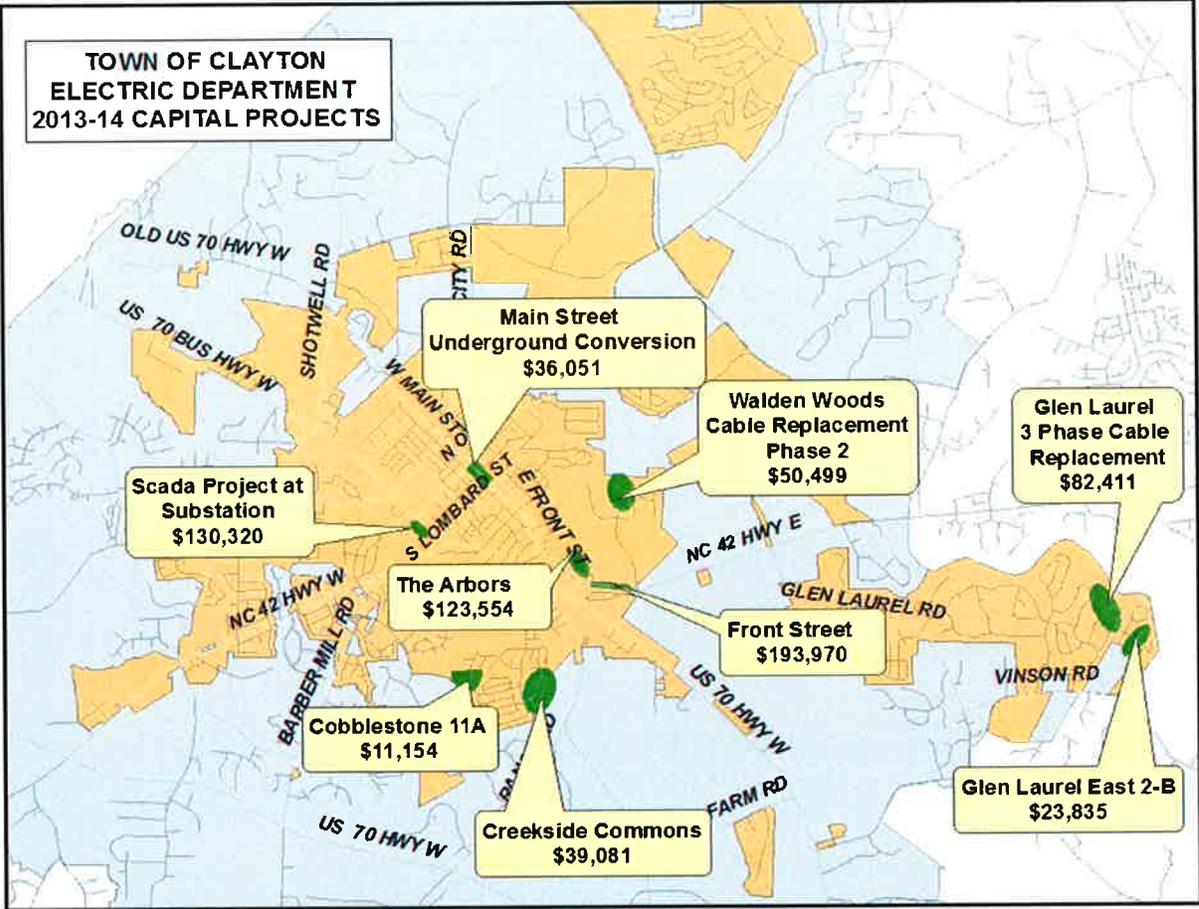
Rolling Blocks- Used for pulling in new overhead wire.

Ladder- Used for maintenance on Horne Square lights

Fault Indicators- Used for indicating electric faults on the overhead electric lines and in pad-mounted transformers.

15 overhead fault indicators and 172 transformer fault indicators have been installed.

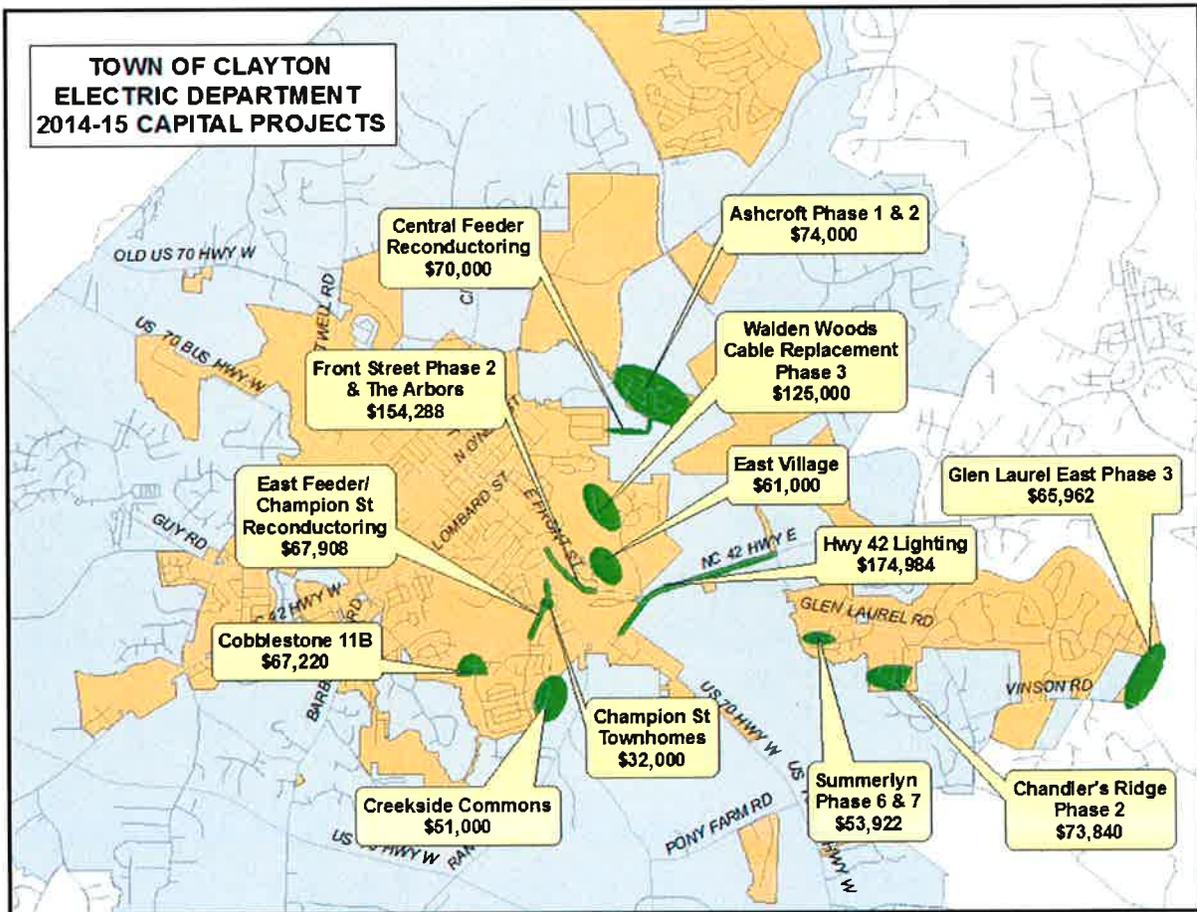
2013-2014 Completed Capital Projects



The Arbors (192 Apartments)	New Construction	\$123,554
Cobblestone 11A (12 lots)	New Construction	\$11,154
Creekside Commons (33 lots)	New Construction	\$39,081
Front Street	New Construction	\$193,970
Glen Laurel 3-phase Cable Replacement	System Improvement	\$82,411
Glen Laurel East 2B (19 lots)	New Construction	\$23,835
Main Street Underground Conversion	System Improvement	\$36,051
SCADA Project	System Improvement	\$130,320
Walden Woods Phase 2 Cable Replacement	System Improvement	\$50,499

2014-2015 Completed Capital Projects

Central Feed Reconstructor		System Improvement	\$70,000
Champion St. Reconstructor		System Improvement	\$67,908
Chandler's Ridge Phase 2	(49 lots)	New Construction	\$73,840
Cobblestone 11B	(34 lots)	New Construction	\$67,221
Creekside Commons	(65 lots) on going	New Construction	\$51,000
Front St Phase 2 and Arbors		New Construction	\$154,288
Glen Laurel East Phase 3	(43 lots)	New Construction	\$65,962
Summerlyn Phases 6 and 7	(45 lots)	New Construction	\$53,922



Current 2014-2015 Capital Projects

Ashcroft Phase 1 and 2	(45 lots)	New Construction	\$74,000.00
East Village	(40 Lots)	New Construction	\$61,000.00
Hwy 42 Lighting Phase 1		New Construction	\$114,000.00
Walden Woods Phase 3 Cable Replacement		System Improvement	\$125,000.00
New Substation Project			TBD

Load Management Program

Currently 2,395, or 43% of the Electric Customers, are participating.

Load Management and Peak Shaving saved the Town \$506,000 in 2014 in Electricity costs!

Over \$208,000 was rebated back to the customers through the program!

The Town spent approximately \$75,000 in repairs, installations and fuel in 2014 for the Load Management Program.

There were 115 new customers added to the program in 2014.

There were 150 repairs to Load Management boxes.

In 2014, the Town of Clayton has completed the following:

- 4942 Work Orders Completed
- Street/Area lights
 - 9 New Streetlight Installations
 - 423 Streetlight Repairs
 - 59 New Area Light Installations
 - 51 Area Light Repairs

Five Year Meter History

2010- 39 New Meters Set

2011- 40 New Meters Set

2012- 52 New Meters Set

2013-76 New Meters Set

2014 151 + 192 (for The Arbors) = 343 New Meters Set

343 New Customer Meters Set in 2014!

Five Year Outage History by Cause

Reason	2010	2011	2012	2013	2014
Supply to Town	0	0	0	0	0
Overhead Equipment Failure	2	2	10	7	21
Underground Equipment Failure	6	5	2	23	15
Weather	6	5	4	8	1
Wildlife	6	7	9	10	8
Trees	9	7	4	4	11
Foreign Interference	1	0	0	0	0
Human	0	0	6	3	11
Other	5	6	9	10	8
Unknown	3	7	6	5	5
Vehicle	1	1	2	6	4
Totals	39	40	52	76	84

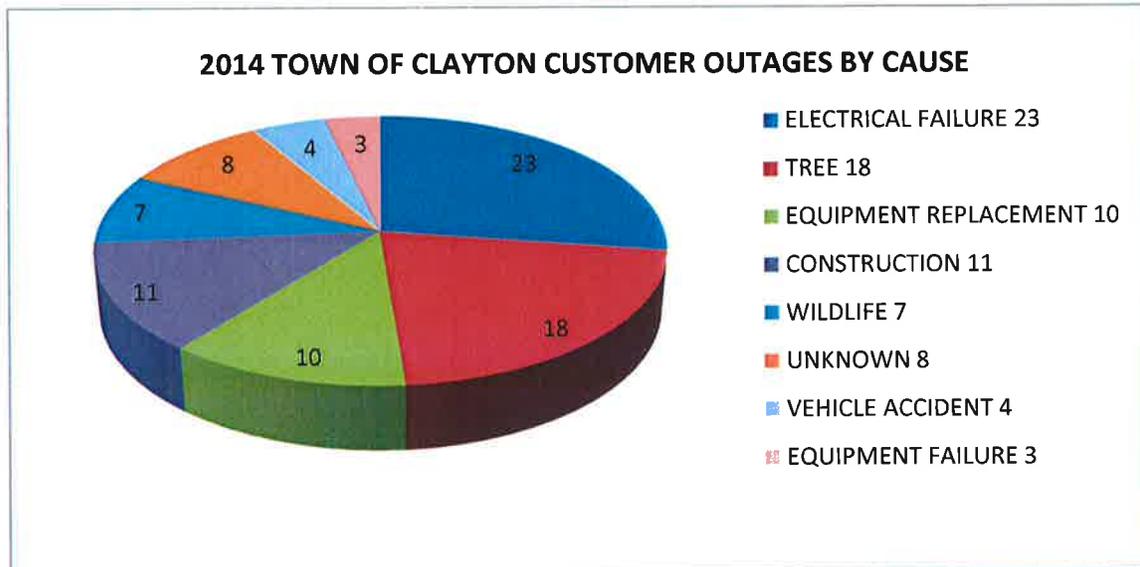
Five Year Outage History by Circuit

Year	East	West	South	Central	Totals
2010	16	8	4	11	39
2011	11	9	3	17	40
2012	20	8	5	19	52
2013	29	19	5	23	76
2014	35	13	3	33	84

2014 Customer Outage Minutes % by Cause

Cause	% of Customer Outage Minutes
Vehicle Accident	61 %
Electrical Failure	17 %
Construction	9 %
Tree	8 %
Equipment Failure	4 %
All Other	1 %

Customer Outage Minutes = Number of Customers out x Number of Minutes Out.



System Improvements

Reconducted part of the Central and East Circuits

Replace underground electric lines in Walden Woods

Implementing new GIS System

Implementing new SCADA System

Infrared Imaging Program

Aggressive tree trimming schedule

Installing Fault Indicators in trouble areas

New Substation

- a) Redundancy**
- b) Decrease load at current substation**

Working around town



Luke Smith works the cable replacement in Walden Woods.



Electric crew works early on a Sunday morning to replace a pole and transformers on Main St.



Electric crew and contractors replace broken pole on Glen Laurel Rd.

Other work down around town

- **52 Lightning arrestors installed or replaced**
- **2 Air-break Switches replaced**
- **1 PME Switch installed**
- **Over 44,000 feet of primary electric cable**
- **Over 30,500 feet of secondary electric cable**
- **Over 30 "Over the street" Banners hung**
- **13 Energy audits**
- **128 Underground Installations**
- **27 Underground Repairs**
- **100 poles installed or replaced**
- **51 transformers Installed**

Special Projects

Project	Men	Hours	Material	Equipment	Cost
Install American flags 6 times per yr	2	5	American flags	Bucket Truck	2,205.00
July 4 th	1	2	None	Service Truck	73.50
Hang 30+ Banners per yr	2	1	None	Bucket Truck	2,910.00
Hang Christmas Decorations & Banners	7 – Electrical 4 – PW	100 – Electrical 20 – PW	Photocells, Brackets, Wiring Harnesses	2 Bucket Trucks, Service Truck, Crew Truck, PW Trailer	E - 27,450.00 PW -2,880.00 Total 30,330.00
Repair Christmas Decorations	2	40	Bulbs, Photocells, Brackets, Wiring Harnesses	Bucket Truck	3040.00
Christmas Parade	1	2	None	Bucket Truck	147.00
Maintain TOC banners on polesx10	2	2	Banners	Bucket Truck	1,940.00
Clayton Schools – Banners, Nets, Cameras, Flag Poles, Misc.	2	60	None	Bucket Truck	8,640.00
SCADA System incl. trim trees, aiming antennae	1	40	None	Bucket Truck	2,940.00
Harvest Festival – Electrical Needs	2	10	Portable meter base/activate & deactivate meters	Bucket Truck, Service Truck	970.00
Concert Series	1	5	Portable meter base	Service Truck	367.50
Clayton Churches – Banners, Cameras, Lights, Flag Poles	2	40	None	Bucket Truck	3,880.00
Clubs & Private Organizations – Women’s, VFW, Civitan, etc...	2	40	None	Bucket Truck	3,880.00
Storage Units – 2	0	0	0	0	4,248.00
Total					65,571.00

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 4b

Meeting Date: March 16, 2015

TITLE: Library Card Fees

DESCRIPTION: Nancy Medlin, Deputy Town Manager, will provide a report regarding proposed structure of library user fees.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

3-16-15

Presentation

Report

Library User Fees

Hocutt-Ellington Memorial Library, Town of Clayton NC



Recommended Fee Structure



The goal of our recommendations is to provide equitable cost sharing for non-taxpaying patrons using library services.



Recommended Fee Structure:



Resident: No Fee
Non-Resident Taxpayer: No Fee
Education Employees: No Fee
Town Employees: No Fee

Non-Resident: FEE (with annual, semi-annual and quarterly options)
Replacement cards (unexpired): FEE
Non-Resident Internet Use: FEE



Recommended Fee Structure



Seek to approximate average annual taxpayer support for the Library operations.

Two different strategies were used generating comparable outcomes.



Calculation Method #1



The cost allocation is based on a per capital calculation :

FY 14-15 Annual Library Budget	\$426,483
Town of Clayton population	17,176
Per Capital allocation	\$24.83



Calculation Method #2



The calculation method is based on the annual percentage of the library budget to the total general fund budget, applied to the average taxpayer bill.

Typical home value = \$164,000 - \$207,000

Typical property taxes = \$861 – \$1,087

% of FY 14-15 Library Budget to GF Budget excluding debt service = 2.4%

Fee range = \$21 - \$26



Card Fee Recommendation



Resident: Free

Non-Resident Taxpayer: Free

Education Employees: Free

Town Employees: Free

Non-Resident: \$25 Annually
\$15 Semi-annually
\$10 Quarterly

Replacement cards (unexpired): \$5

Non-Resident Internet Use: \$5/Hour



Documents & Timeline



Approval of the library card fee structure is a component of the Long-Range Plan and Policies.

The long-range plan and policies document will be presented to Council on April 20.



**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 4c

Meeting Date: March 16, 2015

TITLE: Presentation of the Clayton Police Department Annual Report

DESCRIPTION: Chief Bridges will provide an overview of the Clayton Police Department's annual report.

RELATED GOAL: Administrative

ITEM SUMMARY:

Date:

Action:

Info. Provided:

3-16-15

Presentation

Annual Report



2014 Annual Report



Clayton Police Department
315 E. Second Street
Clayton, NC 27520

Phone: 919-553-4611
Fax: 919-553-1512



To save on printing costs, this document is provided in electronic format (Adobe pdf) rather than the traditional booklet form. Copies will be publicly available for download from the Clayton Police Department web site <http://www.claytonpolice.org> . Hard copies may be requested from the Clayton Police upon request.

Introduction

To: *Citizens of the Town of Clayton, Mayor Jody McLeod, Mayor Pro Tem Michael Grannis, Council members Art Holder, Butch Lawter, Bob Satterfield, Jason Thompson and Town Manager Steve Biggs*

On behalf of the police officers and staff of the Clayton Police Department, I am pleased to submit to you the 2014 Annual Report. This report provides the reader with information regarding the various divisions and units within the Department and gives them a glimpse into our activities and accomplishments this past year.

The report also contains information regarding crime trends in the community, as well as reported crimes and arrests. In 2014, we continued to serve Clayton to the best of our ability by sharing data and activities with the community to keep citizens well informed. We have remained diligent in addressing crime and safety issues throughout the Town of Clayton.

Significant events involving the [Clayton Police Department](#) in 2014 include:

- Two new officers hired to fill vacancies
- K-9 Able joined the CPD's ranks
- One new office assistant was hired to fill a vacancy
- 2 civilian employees retired
- New Training Officer Position created
- 1 additional Advanced Law Enforcement Certificate earned
- 2 Intermediate Law Enforcement Certifications earned
- US Police K-9 Trails
- 2 homicides were investigated (*both were solved with suspects arrested*)
- Filed Reports on 690 Traffic Accidents – 173 with injuries, 1 fatality
- Handled 26,946 police calls for service in 2014

The principles and practices of community policing remain our best approach to serving our diverse community. Throughout the year we have taken pride in serving our community and upholding the rights of all citizens. We appreciate the continued support of the department's law enforcement and community service efforts. The members of the Clayton Police Department continue to demonstrate their commitment to providing a safe community for all.

Synopsis of Crime Statistics

This is the Clayton Police Department's preliminary 2014 annual report on Part I (Index) Crimes. The data analyzed for this summary covers the period from January 1 through December 31, 2014.

During the past year, the Clayton Police Department received 452 reports of Part I (Index) Offenses.*

*The number of **Violent Crimes reported in 2014 increased by a total of 10 (35.71%)** over the 2013 number. This was due in large part to an increase in aggravated assaults from 20 to 26. Robbery offenses also saw a rise from 5 to 7 and there were 2 homicide cases investigated. The number of **Property Crimes decreased this year by 10 incidents.***

These statistics must always be viewed in the context that numerical deviations are influenced by many factors beyond our control (see Appendix A). While we are careful to monitor apparent trends in reported crime and are cautiously pleased with our crime rate which remains well below state and national levels, that is of little consolation to those who have been victims of crime. The Police Department staff, officers, and civilian employees have shown a steadfast commitment to improving our department and to making Clayton a better place to live, work and visit.

Part I (Index) Crimes for Town of Clayton					
<i>* For an explanation of how Summary-based Uniform Crime Reporting is scored and tabulated for statistical analysis, see Appendix A.</i>					
Crime	2011	2012	2013	2014	2013 – 2014 change**
Murder	0	0	0	2	+ (2) **
Rape	2	4	3	3	n/a
Robbery	10	5	5	7	+ (2) **
Aggravated Assault	18	15	20	26	+ (6) **
Violent Crime Total	20	24	28	38	+(10) **
Burglary	112	101	104	113	+ 8.65 %
Larceny	282	288	307	293	- 4.56 %
Motor Vehicle Theft	13	8	11	8	- (3) **
Property Crime Total	410	403	424	414	- 2.36%
TOTAL INDEX CRIMES	430	427	452	452	n/a 0 % increase or decrease

** Change shown by actual number of incidents (not by percentage, if the total # is less than 100).

New Police Officers

Officer Lance Cavanaugh



Officer Cavanaugh joined the department in April of 2014. He is a native of Clayton and joined the Marine Corps after graduation from Clayton High School. He graduated from the Johnston County Community College Basic Law Enforcement Training Program and obtained a year of experience before coming to Clayton.

Officer Jeff Young



Officer Young became a member of the force in November of 2014. He came to the department after serving over 3 years with the Benson Police Department. He graduated from Basic Law Enforcement Training at Johnston Community College and grew up in the Raleigh area.



New Canine Officer



The Clayton Police Department added another K-9 to it's' force in 2014. K-9 *Abel* is a German Shepard that was imported from the Netherlands. Abel and his handler, *Ofc. Jamie Brantley*, attended a four (4) month, 560 hour, basic K-9 course, with the Wilson Police Department K-9 Academy and started with patrol on April 11th 2014.

K-9 *Abel* is a dual purpose patrol dog that is certified with the *United States Police Canine Association (USPCA)* in the fields of obedience, agility, tracking, evidence search, suspect search, criminal apprehension, and the detection of illegal narcotics. *Ofc Brantley* and K-9 *Abel* gained their annual certifications in the USPCA Police Dog I (PD-I) and Police Dog II (PD-II) Trials within five (5) months of graduating their basic academy and competed in the National Trial in October.

Ofc Brantley and K-9 *Abel* are assigned to the Patrol Division to work alongside patrol squads as well as assisting the Investigative Services Division when needed. They spend numerous hours in training to maintain their certification and ensure they are prepared for situations they may encounter on the streets of Clayton.

Ofc Brantley and K-9 *Abel* have assisted in several investigations this year including arrests for narcotics violations as well as helping to find evidence and apprehend subjects during tracks. They have also done several public demonstrations to showcase the various capabilities of the K-9 Team.



New Civilian Staff

Anne Abene



Mrs. Abene joined the department in July of 2014. She is a native of Clayton and first began working with the Town in 2006 in the Finance Department. She transferred to the police department and will serve as a Senior Administrative Assistant as well as liaison with the State Bureau of Investigations Division of Criminal Information.

Retirements within the Department



Diane Moore

Ms. Moore began working with the department as a dispatcher in 2003. She later became an Administrative Assistant until her retirement in July.



Jim Poindexter

Jim Poindexter retired in August of 2014 after many years of service to the Town. He was a volunteer Fireman before coming to the department in 1999 as a dispatcher. He later became the department's Code Enforcement Officer.

New Training Officer Position

After several years in the making, the Town of Clayton and the Police Department were able to re-evaluate and re-classify a position to create a full time training Officer.

The department identified a need to have better management of its training, files and records for the officers. To achieve this goal the training officer's position was created.

The position is responsible for managing the State's in-service mandated training and keeping up with certifications, training needs and professional certificates for the department.

Officer Andy Jernigan was chosen for the position and began his new assignment in July of 2014. He has been with the department for over 12 years. During that time he has been a lead instructor for the agency and a valuable resource in the area of training.

Below are some photos from the 2014 In-Service training.



Pictured left, Ofc. Vause works with Lt. Fint on defensive tactics and baton strikes, while Ofc. Jernigan looks on.

Pictured right, Ofc. Moyer deploys his TASER at Ofc. Jernigan during Taser training.

Professional Certificate Awards

The State of North Carolina recognizes Police Officers professional achievements by considering years of service, training and traditional or advanced education. This recognition is awarded and approved by the Department of Justice's Criminal Justice Education and Training Standards Commission. Officers must apply for these certificates which are voted on by the Commission. There are three levels of awards, Basic, Intermediate and Advanced. These awards are some of the highest given to officers on behalf of the State of North Carolina. Intermediate and Advanced Certification also assist the Town by reducing insurance rates.

Currently the Department has **11** total officers who hold an **Intermediate** Professional Law Enforcement Certificate and **25** total officers who hold **Advanced** Professional Law Enforcement Certificates.

During 2014 the following officers received certificates:



Officer Miguel Duran

In January, Officer Duran was awarded his Intermediate Professional Law Enforcement Certificate.



Detective Isiah Ruffin

In June, Detective Ruffin was awarded his Intermediate Professional Law Enforcement Certificate.



Lieutenant Russell Flint

In August, Lt. Flint was awarded his Advanced Professional Law Enforcement Certificate.

Department Awards & Recognitions

Ofc. Tyler Johnson receives Departmental Certificate of Merit Award



On January 7th of 2014 Officer Johnson was on patrol on the west side of Town. Snow had fallen and the temperature was below freezing. Officer Johnson took the initiative to check on a man who was known to sleep in the woods behind Wal-Mart. At 2:30 a.m. Johnson located the man whose eyes were frozen shut and who was in the early stages of hypothermia. Johnson transported the man to the hospital and searched the area for others. Officer Johnson's attention to duty and dedication to his community were recognized by the award of the Certificate of Merit.

Johnston County Recognizes Officer Justin Vause

In March, Officer Vause received the Johnston County Law Enforcement Officer of the Month Award. Vause, who is a K-9 officer, was recognized by the District Attorney's Office for his level of Driving While Impaired arrests as well as his aggressive prosecution of these cases. Officer Vause made over 20 D.W.I. arrests in 2014 along with numerous drug and drug related charges.



Police Officer of the Year Award



Each year the police department selects an Officer of the Year from among every sworn officer on the department. Numerous factors are considered during this selection and the employee who has proven their commitment to superior service to the community, exceptional work ethic, and dedication to their chosen profession, is selected.

After careful consideration, Detective Brian Temple was selected as the Clayton Police Department's Officer of the Year for 2014.

Detective Temple has been with the Clayton Police Department since February of 2001. During that time he has held numerous assignments on the department to include that of patrol officer, traffic officer, motorcycle officer, and detective. He has successfully worked numerous cases ranging from misdemeanors to serious felonies. He has been a member of the department's tactical team since it was formed and has countless hours of SWAT and investigative training.

2014 Year in Review

Notable Crimes & Occurrences

January 14th, Walgreens Robbery

Three Garner men are now behind bars charged in the January 14th armed robbery at the Walgreens on US70 in Clayton. Two cashiers were held at gunpoint by two masked men. For several months, the Town of Clayton Police detectives worked with Raleigh, Garner, and Fuquay Varina Police Departments to develop leads and locate the suspects. Together, they were able to connect the dots between several other robberies that happened around the same time in all of these towns. Detectives believe 21-year-old Richard McKay, 23-year-old Demetrich Anderton, and 24-year-old Timothy Cooper robbed convenience stores, sweepstakes/digital gambling locations, and pharmacies throughout Wake and Johnston Counties. A Walgreens in Fuquay Varina was robbed just hours before Clayton's with similar circumstances. The suspects were eventually arrested and charged with Robbery With a Dangerous Weapon, Second Degree Kidnapping, and Possession of a Firearm by a Felon.



March – Clayton Estates neighborhood Break-In's

Thanks to tips and cooperation from residents in Clayton Estates and neighboring Alta mobile home park on 42West, Clayton Police Detectives arrested 21-year-old Javier Zavala and 18-year-old Luis Garcia for breaking into several different homes and stealing property. After detectives charged them in one break in on March 14th, they were able to tie these two suspects to other break-ins that happened on March 4th, 6th and 7th.



Javier Zavala



Luis Garcia



Security Alarm Check Leads to Marijuana Bust



A security alarm check at a Clayton couple's home led to the discovery of more than 135 grams of marijuana. On Tuesday, April 29th, officers responded to an alarm call at 902 Dairy Road when they discovered the marijuana, as well as packaging materials, and paraphernalia. The two residents at the home, 22-year-old Shaquan Branch and 18-year-old Shairail Lawrence were both charged with Felony Possession of Marijuana, Possession with Intent to Manufacture, Sell, and or Deliver Marijuana, and Maintaining a Dwelling to Sell Marijuana.

May 21st & 22nd - Clayton PD Hosted the USPCA Regional Trials

The Police Department was proud to host the United States Police Canine Association's Region - 2 Certification Trials at East Clayton Community Park on Glen Laurel Road. Nearly 40 police K-9 teams from North Carolina, South Carolina and Georgia participated in these intense trials. Not only did Clayton PD Officers Vause & Brantley and their K9's "Major" & "Abel" receive their certifications, but they also qualified for the nationals in October.

[Watch this incredible video](#) to see our officers in action!

- Exciting 2-Day Event
- More than 50 Police K-9's from North & South Carolina
- Watch Certification Trials in:
 - Agility
 - Box Searches
 - Obedience
 - Article Searches
 - Bite work (with/without gunfire)
- Come Support Clayton's own K-9's "Major" & "Abel"
- **PLEASE LEAVE YOUR PETS AT HOME!**



SPRING 2014 USPCA K9 CERTIFICATION TRIALS

May 21 & 22 2014
8am - 5pm

East Clayton Community Park
1774 Glen Laurel Road
Clayton, NC



Help Support Your Local K9 Unit!

Clayton Police Department
315 E Second St.
Clayton NC, 27520
919-553-4611



Special Olympics TORCH RUN

On Thursday, May 29th, Members of the department participated in the North Carolina [Law Enforcement Torch Run® for Special Olympics](#). The run unites officers from law enforcement agencies and corrections departments across the state in an effort to raise funds and awareness for Special Olympics of North Carolina.

Each summer, law enforcement officials carry the *Flame of Hope* across the state in The Torch Run Final Leg, culminating in the lighting of the cauldron to officially open the Special Olympics North Carolina Summer Games in Raleigh. The 2,000-mile, 15-day Torch Run Relay involves more than 2,500 law enforcement officers and personnel representing more than 200 law enforcement agencies across North Carolina.



The Clayton Police Department was honored to carry the torch! [Click HERE to watch a video of the 2014 run!](#)



July 19th, First Homicide in 7 Years Solved Within Hours

Clayton Police arrested 53-year-old Jose Louis Ramierz Delgado of 415 S. Lombard Street in Clayton just hours after witnesses say he stabbed another man behind a convenience store on Main Street. It happened around 10 o'clock Saturday night, July 19th, behind the Clayton Mart at 208 East Main Street. Detectives say the two men were arguing when 50-year-old Carlos Luis Rubio of 421 W. First Street was stabbed twice and Delgado took off running. Rubio was rushed to Wake Med where he was pronounced dead shortly after his arrival. A team of officers and detectives, including the department's newest K-9 officer "Abel", began actively searching for Delgado and found him hiding under a nearby warehouse. Delgado was charged with homicide. This is the first homicide in the Town of Clayton in 7 years and the department is pleased that an arrest could be made so quickly.

Clayton Family Dollar Robbed

Clayton Police Officers are searching for suspects who robbed the Family Dollar store on US Business 70. The armed robbery happened just before 10 pm on Saturday, August 9th, in the Clayton Village Shopping Center, 10137 US Business Highway 70 West. Two men walked in demanding money and cigarettes and then escaped out the back. No one was hurt during the robbery and the case remains under investigation.





Arrest made in over a Dozen Car Break In's

In October, Officers arrested an Angier man who preyed on multiple unlocked cars in the Riverwood community, stealing credit cards and electronics. The arrest was made within 24 hours after officers began investigating the crimes.

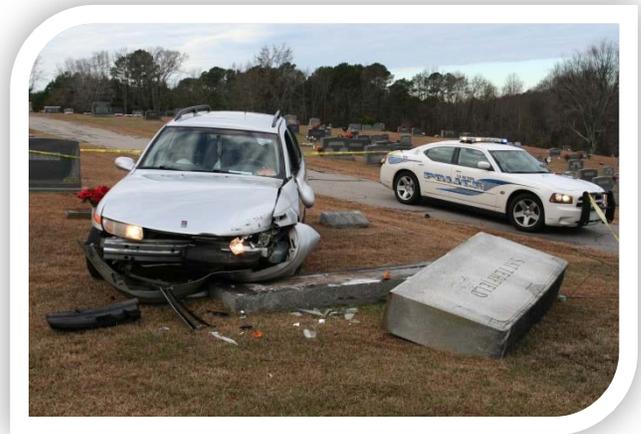
Joshua David Turner, 27, of 79 Nicolas Court, was arrested and charged with 11 felonious counts of breaking and entering into a motor vehicle, four counts of felonious financial card theft, one count of felonious financial card fraud, five counts of misdemeanor larceny and one count of obtaining property by false pretense.

Arrest made in Christmas Day Robbery / Carjacking

On Christmas morning, a newspaper delivery driver from Raleigh assisted a stranger asking for help and a ride to Clayton.

Along the way, she became uncomfortable and told the man she would not take him any farther. She told police the man got angry, pulled a knife and threatened her if she did not give him money and continue driving. The woman eventually stopped her car in Clayton and ran. She called 911, and officers found the suspect driving the car. After a brief chase, the suspect crashed the car in a cemetery and then jumped out and ran. He was quickly captured.

Trent Lesean Creech, 33, of the 2000 block of Southgate Drive in Raleigh, was charged with first-degree kidnapping, robbery with a dangerous weapon, felonious restraint, fleeing to elude arrest, larceny of a motor vehicle, financial card theft, injury to personal property and assault on a law enforcement officer.



Second Homicide of the year investigated in December

Detectives say *Cortaz Quemel Lucas, Jr.*, 17, of Clayton shot 28-year-old Robert Horton on Sunday, December 28th, at Horton's home in the Alta Mobile Home Park on South Lombard Street.

A domestic or family-related issue led to the shooting, which left Horton with multiple gunshot wounds to the chest. Police responded to the mobile home park about 2:35 a.m. on Sunday to a call of shots fired. When they arrived, they found Horton lying on the living room floor of a trailer at lot 67. First responders rushed Horton to WakeMed in Raleigh, where he later died.

Note: In the early morning hours of January 28th, 2015 the suspect was arrested in Fayetteville by Clayton Detectives working with the FBI, ATF, and Fayetteville Police Department.

Officer Activity, Complaints, and Internal Reviews

The Clayton Police Department continues to assess the conduct of our employees as we strive to ensure that all officers and civilians represent the agency in a positive manner. Our goal is to offer a high level of quality, commitment and professionalism both on and off-duty. To that end, we fully document and investigate any and all complaints against members of our department, and communicate with complainants regarding the status of their individual complaint(s).

In 2014 the department investigated a total of 5 complaints which was down from 6 in 2013. This total includes complaints made by citizens and those initiated by the administration of the police department. Of the 5 complaints investigated; 1 was substantiated, 3 were unfounded, and 2 were exonerated. In all substantiated cases some level of disciplinary or corrective action is taken. **All complaints from all sources are documented in writing and investigated.**

Definitions of Complaint Classifications

Substantiated -	Information was sufficient to prove the allegation
Unsubstantiated -	Information was insufficient to prove the allegation.
Exonerated -	The allegation or conduct occurred, but was lawful and proper.
Unfounded -	The allegation was proven false or determined to be not factual.

**Subject of all Complaints (both internal and external origins)*

Excessive Use of Force	1
Rights Violation	1
Improper Police Action	2
Biased Based	0
Officer Demeanor	1
Other	0

Defensive Actions

Officers reported 21 encounters requiring Defensive Actions in 2014. Clayton Police Officers are required by departmental policy to complete an internal report for every occasion during which they have to use physical force or use weapons in self-defense, to affect an arrest, to respond to aggression or resistance, or to perform some other lawful action.

Citations

Citations differ from arrests in law enforcement reporting. Citations are primarily issued to offenders charged with infractions or minor misdemeanors that do not require the signing or the posting of a bond (waivable offense). Citations are written for traffic violations and a wide variety of non-traffic misdemeanors. In 2014, the Clayton Police Department's officers issued 3,923 charges on citations. This reflects an increase in activity of 618 citations when compared to 2013.

Traffic Enforcement Action Taken by Driver's Sex, Race, and Ethnicity

Report From 1/1/2014 through 11/30/2014

Action	Gender	White	Black	Native American	Asian	Other	Total By Race	Hispanic	Non Hispanic	Total By Ethnicity
Citation Issued	Female	660	276	2	1	0	939	88	851	939
No Action Taken	Female	12	4	0	0	0	16	3	13	16
On-View Arrest	Female	15	2	0	0	0	17	2	15	17
Verbal Warning	Female	211	111	1	3	1	327	21	306	327
Written Warning	Female	187	80	1	3	0	271	7	264	271
Written Warning	Male	202	82	2	2	1	289	19	270	289
Verbal Warning	Male	342	190	1	4	2	539	66	473	539
On-View Arrest	Male	31	22	0	0	1	54	6	48	54
No Action Taken	Male	28	12	0	0	1	41	3	38	41
Citation Issued	Male	944	337	2	9	2	1294	231	1063	1294
Female Total	Female	1085	473	4	7	1	1570	121	1449	1570
Male Total	Male	1547	643	5	15	7	2217	325	1892	2217
Total		2632	1116	9	22	8	3787	446	3341	3787

Note: This data reflects ONLY vehicle stops for traffic offenses – It does not reflect citations for criminal misdemeanor or local ordinance violations.

This data is for the period of January 1, 2014 through November 30, 2014.

Traffic Collisions

In 2014, officers of the Clayton Police Department investigated 690 traffic accidents. This is 30 more accidents than were investigated in 2013. We also saw a significant increase in injuries resulting from accidents. In 2013 there were 122 injury accidents and in 2014 there were 173. There was only one traffic fatality investigated in 2014. That fatality was the result of an elderly female having a medical condition while driving, which sadly resulted in a fatality.

Pursuits

There were a total of 3 pursuits in 2014. This represents a decrease of one pursuit when compared to 2013. Departmental policy states that all pursuits must be documented and reviewed at each supervisory level to insure that rules were followed.

Calls for Service

There were 26,946 police calls for service in 2014. This is 2,778 more calls than were handled in 2013. The total number of calls includes traffic stops, wreck investigations, arrests, and a wide variety of officer-initiated actions as well as all police responses and planned activities.

Appendix A

About Crime Reporting

The Clayton Police Department voluntarily participates in the FBI's Uniform Crime Reporting program (UCR) by submitting monthly reports to the North Carolina State Bureau of Investigations. Through this voluntary program, and with the cooperation of participating agencies such as our own, the UCR program strives to ensure the production of a reliable and uniform set of crime statistics, from which a nationwide and statewide view of crime is possible. The North Carolina State Bureau of Investigations' (SBI) Division of Criminal Information (DCI) gathers data from participating law enforcement agencies throughout the state and forwards the UCR statistics to the FBI in UCR format.

Because of their seriousness and frequency, seven offenses comprise a **Crime Index**, which is used by law enforcement agencies throughout the nation to serve as indicators of crime experience within jurisdictions. These figures are intended to represent the volume of crime in Clayton, NC. Volume indicators do not represent the actual number of crimes committed; rather, they represent the number of offenses reported to law enforcement for each category. The Uniform Crime Reporting program (UCR) collects data on offenses known to law enforcement, and on persons arrested, to depict total crime and to provide data for administrative and operational use in addressing community problems. With respect to Murder, Rape and Aggravated Assault, the volume represents the number of actual victims known to law enforcement, while for Robbery, Burglary, Larceny – Theft, and Motor Vehicle Theft, the number of known offenses is represented.

When analyzing UCR statistics, the user of this information should guard against superficial agency-to-agency comparisons. Such direct comparisons, without taking into account the demographic differences between law enforcement jurisdictions, are misleading.

The underlying causes of crime are complex, and they resist simplistic "quick-fix" solutions. Crime is a community problem that requires law enforcement, citizens of the community, and other social institutions in the community to cooperatively form crime-specific strategies for resisting crime. We continue to bring the resources that are available to us to bear on specific criminal activities, within our operating and resource limitations.

To accept crime as a fact of life is an admission of defeat. Only through the establishment of short and long-term strategies and the assistance of the citizens can the community successfully resist crime problems in our neighborhoods. The identification of our community's crime patterns, through an examination of local crime experience, is a starting point. Thus, these crime statistics are a way of revealing to all of the people in our community just what we're up against.

Social and economic factors have an enormous impact on the nature and levels of crime in any particular community. The FBI, as part of the Uniform Crime Reporting system (UCR), lists a number of factors that affect the volume and type of crime:

- *the size of the community and its population*
- *the density of its population*
- *how the population is composed*
- *stability of the population with respect to mobility and transience*
- *the prevailing economic conditions*
- *cultural conditions, such as educational, recreational, and religious characteristics*
- *climate*
- *effective strength of law enforcement agencies*
- *what law enforcement emphasizes in its administrative and investigative roles*
- *the policies of other components of the criminal justice system (prosecutors, courts, corrections, and probation)*
- *citizen attitudes towards crime*
- *how citizens report crime (how often, how quickly)*

The majority of these factors are somewhat beyond the control of the police. However, the Police Department can play a major role in controlling "street crimes" - those that occur in public places (e.g., purse snatching, assaults/muggings). Crimes of passion committed among relatives or friends and other crimes committed indoors, such as shoplifting, are crimes for which law enforcement agencies typically have little to no control over any increases and decreases in frequency. Police agencies collect information about these crimes and make arrests, as an order maintenance measure, whenever possible.

The rate at which citizens report crime varies from community to community. We strive to be responsive to our citizens' reports of criminal activity – the public's confidence in our ability to effectively respond to specific events is crucial if we, as a community, want to

Appendix A (continued)

formulate an effective community-wide strategy to resist increases in the frequency with which crimes occur. Therefore, increases in the frequency of crimes reported may be viewed favorably provided that we, as a community, use the statistics to identify our specific problems and formulate reasonable short and long-term responses.

In addition to arresting suspects after a crime has been committed, crime prevention and deterrence activities are methods by which Law Enforcement agencies and the citizens of the community can collaboratively resist increases in the volume of crimes.

All offenses are classified on the basis of law-enforcement officer investigation and in accordance with UCR offense definitions (which will not necessarily coincide with N.C. Statute definitions.) Because UCR identifies a Police problem, offense classifications are not based on the findings of a court, coroner, jury or decision of a prosecutor.

SCORING OF UCR OFFENSES

The method of scoring in the Uniform Crime Reporting program varies with the type of crime committed, and it is important to remember that the number of offenders does not determine the number of offenses.

For murder and non-negligent manslaughter, rape, and aggravated assaults, one offense is scored for each victim regardless of the number of offenders involved. For example, three offenders could be involved in the murder of one victim, and in this case one murder would be scored.

For robbery and larceny, one offense is counted for each distinct operation - that is, separate in time and place. The number of victims in any one operation does not determine the number of offenses. For example, if ten (10) people are robbed in a bar at the same time, only one offense is counted. However, if that robber then leaves the bar and holds up a passerby, a second offense has occurred and would be scored.

For burglary, one offense is counted for each "structure" which is illegally entered. For UCR purposes, a structure is generally defined as an enclosed, permanently occupied area. The illegal entries for the purpose of committing a felony or theft of such structures as dwelling houses, garages, offices, barns and the like are considered burglaries, and one burglary is scored for each separate unit entered. The illegal entry of several structures used to hold transients, such as hotel rooms, is scored as one burglary if there was one distinct criminal operation, regardless of the number of rooms or structures that have been entered. For motor vehicle theft, one offense is counted for each theft or attempted theft of a motor vehicle. For UCR purposes, a motor vehicle is defined as any self-propelled vehicle that runs on the surface and not on rails or a body of water. Thefts of farm and construction equipment are excluded from this definition and are scored as larcenies. All cases where persons not having lawful access take automobiles are classified as motor vehicle theft, even though the vehicles may later be found abandoned. This includes "joyriding." One offense is scored for each vehicle stolen or for each attempt to steal a motor vehicle.

Attempts to commit any of the above offenses are counted with the exception of attempts or assaults to kill, which are classified and scored under aggravated assaults.

For multiple offenses that occur in one incident (at the same "time and place"), only the most serious offense is counted.

Part I crimes are ranked according to UCR's definition of seriousness, and appear in order from the most serious to least serious. For example, a robber may seize a man's wallet and then beat him causing serious injury. Both a robbery and an aggravated assault have occurred, but because robbery is considered by UCR to be more serious, only the robbery is scored. From one perspective this method of counting seriously understates the crime problem, but from another, it prevents undue inflation of crime statistics.

The Clayton Police Department is dedicated to the protection of life and property. We are further committed to treating all people with respect while holding ourselves and others accountable for our actions. We strive to uphold the constitution and to conduct ourselves with integrity in all our undertakings.

R. W. Bridges
Chief of Police

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 5a

Meeting Date: March 16, 2015

TITLE: Public Hearing - PDD 2014-127 – Steeple Chase Planned Development – Rezoning to PD-MU

DESCRIPTION: Steeple Chase Planned Development – Rezoning to PD-MU. This is a 631 acre project and is generally located east of City Road, west of North O’Neil Street, and between Sam’s Branch and the Neuse River. The applicant is requesting approval to rezone the subject property to Planned Development –Mixed Use.

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Set Public Hearing for March 2, 2015	Staff Report Supporting Documents
3-2-15	Public Hearing TABLED	Updated Staff Report Supporting Documents
3-16-15	Public Hearing <i>To Be TABLED</i>	Staff Report Supporting Documents



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

*Town Council
February 16, 2015*

STAFF REPORT

Application Number: PDD 2014-127 (Rezoning to Planned Development)
Project Name: Steeplechase Planned Development

Associated Application: PSD 2014-128 (Master Plan)
NC PINs: 166900-38-4997
TAG #s: 05H02009
Town Limits/ETJ: Town Limits
Overlay: None
Applicant: Galaxy NC, LLC, c/o Wakefield Development
Owners: Raymond Elmore Earp Jr. Irrevocable Trust

Neighborhood Meeting: Held October 27, 2014
Public Noticing: Property posted November 7, 2014

PROJECT LOCATION: The approximately 631 acre project is generally located east of City Road, west of North O'Neil Street, and between Sam's Branch and the Neuse River.

REQUEST: The applicant is requesting approval to rezone the subject property to Planned Development – Mixed Use.

SITE DATA:

Acreage: 631.04 acres
Present Zoning: Residential Estate (R-E), Residential 10 (R-10), Residential 8 (R-8), Neighborhood Business (B-2)
Proposed Zoning: Planned Development – Mixed Use (PD-MU)
Existing Use: Vacant/Agriculture/Forested
Overlay: Partially within the Watershed Protection Overlay (a small portion of the site in the southeast corner)

ADJACENT ZONING AND LAND USES:

North:	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential
South:	Zoning:	Residential Estate (R-E), Residential 8 (R-8 SUD)
	Existing Use:	Vacant / Single Family Residential /Agriculture
East:	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential / Agriculture
West:	Zoning:	Residential Estate (R-E)
	Existing Use:	Single Family Residential

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting the subject property be rezoned to Planned Development – Mixed Use (PD-MU). Concurrent with the request to rezone property to a Planned Development District, a Master Plan has been submitted. That application is under concurrent review under case #PSD 2014-128. Both the rezoning and the master plan must be approved for the PD-MU District to be approved. Details of the Master Plan are provided in a separate staff report.

Planned Development Review Criteria

The regulations below are the components of the UDC that pertain to the review of Planned Developments:

Definition:

Definition of PD-MU (§155.200(A)(3)(d)): “The PD-MU district is intended to provide coordinated mixed-use developments which include light industrial, commercial, office, educational, civic, institutional, residential and service uses within a planned development with appropriate perimeter buffering and open space. The variety of land uses available in this district allows flexibility to respond to market demands and the needs of tenants which provides for a variety of physically and functionally integrated land uses.”

Consistency with the Strategic Growth Plan

The request is consistent with the following objectives of the Strategic Growth Plan:

- Proposed Land Use Map
- Objective 2.1 Balanced Development/ Investment: Old and New
- Objective 2.3 Expand Wastewater Capacity: Treatment and Transmission
- Objective 2.5 More Housing Opportunities: Beyond Starter Homes (*Continue to encourage diverse housing stock. Promote planned development, which allows more flexibility in housing types.*)
- Objective 5.1 More Developed Parks and Parkland

The Proposed Land Use Map shows the site as “Residential – Light and Neighborhood Commercial.”

Compatibility with Surrounding Land Uses

Although the overall proposed density is 4 dwelling units per acre, the master plan has been designed to provide lower densities adjacent to existing subdivisions. These lower densities are compatible to the densities in the adjacent subdivisions and provide a transition from the higher density/intensities. The commercial parcel is currently limited in the master plan regulating documents to neighborhood commercial (B-2 uses) and a maximum of 75,000 square feet of floor area.

Landscaping and Buffering

Planned Developments require a Class C perimeter buffer is provided along the boundary of the property.

Recreation and Open Space

Planned Developments are required to meet or exceed the standards established for open space subdivisions.

CONSIDERATIONS

- The applicant is requesting approval of a rezoning of the subject parcel to Planned Development – Mixed Use.
- This approval is subject to approval of PSD 2014-128 (Master Plan).
- The final decision is made by the Town Council with recommendation from the Planning Board.
- The Planning Board did not make a recommendation at their January 26, 2015 meeting, and will open the item again at their February 23, 2015 meeting.

STAFF RECOMMENDATION

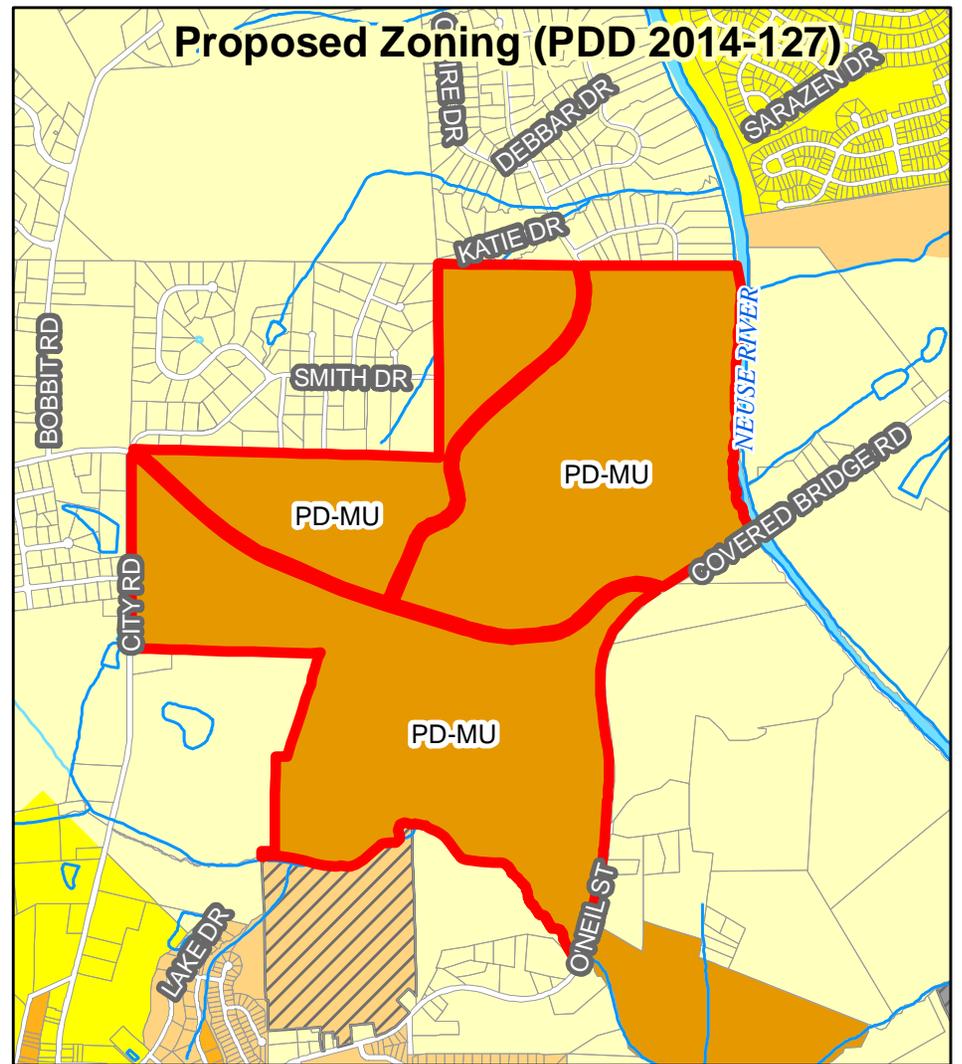
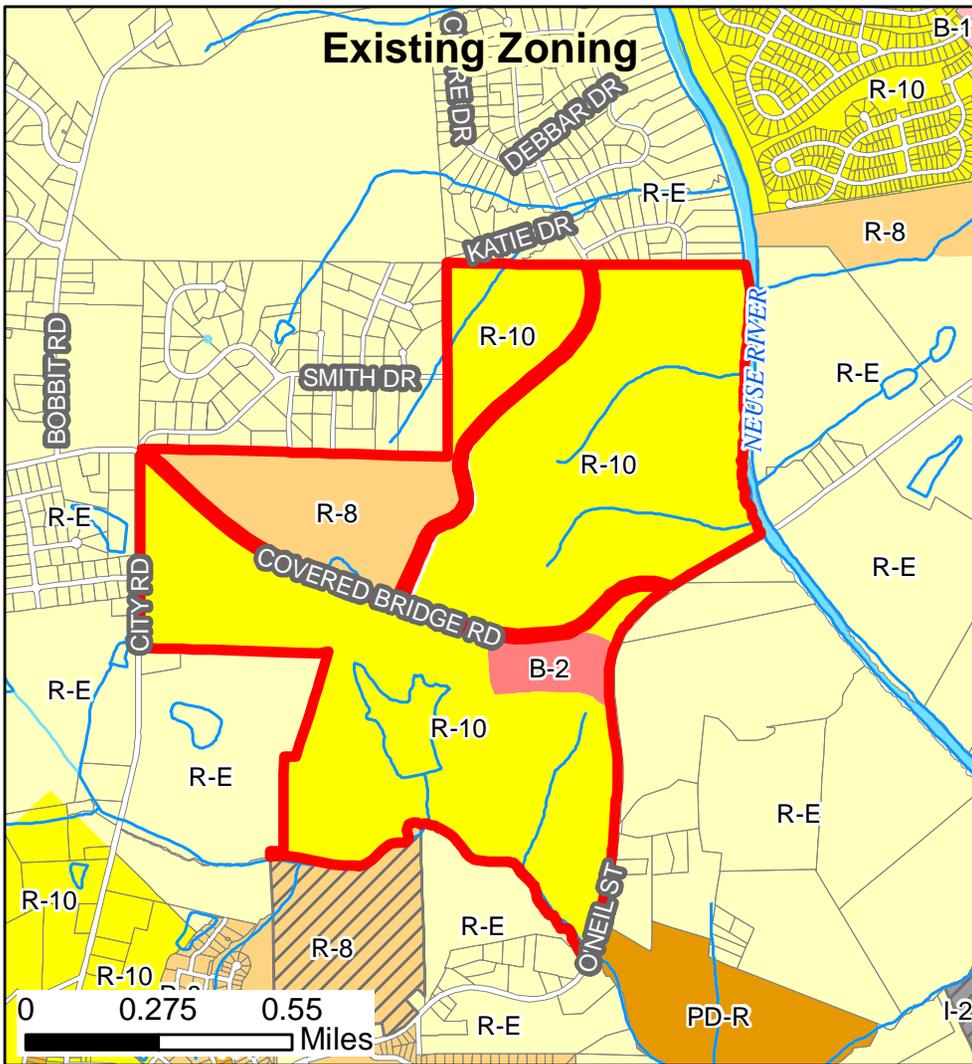
Staff is recommending:

- 1) Approval of the rezoning.

Planning Board Recommendation: No recommendation at this time. The item was postponed for decision at a future meeting.

Attachments:

1. Existing and Proposed Zoning Map
2. Aerial Map
3. Application
4. Neighborhood Meeting Materials



SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
 Tag #: 05H02009
 File Number: PDD 2014-127 and PSD 2014-128

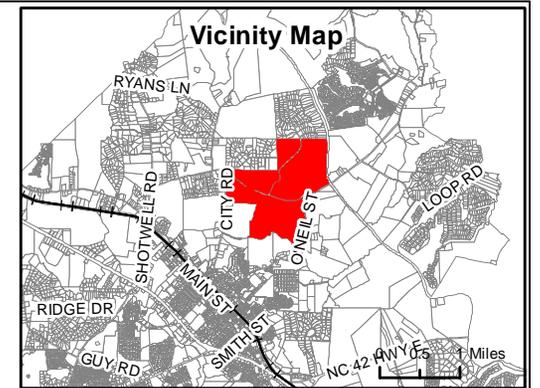
Produced by: TOC Planning

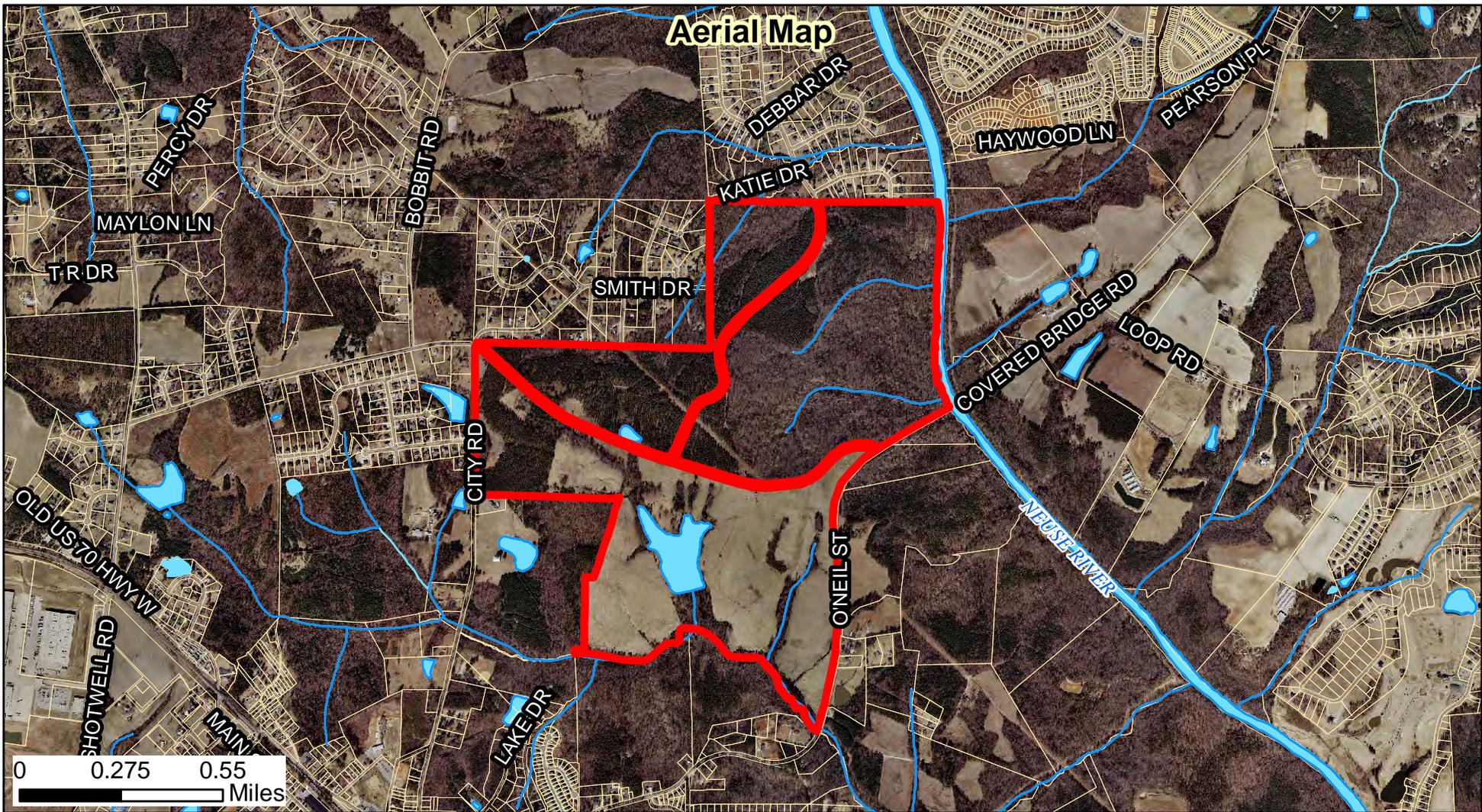
Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.
 11/12/14



Legend

	SteepleChase_Site	ZONING		B-2
	Water Features			B-3
				I-1
				I-2
				O-1
				PD-MU
				Special Use District





SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat approval

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
 Tag #: 05H02009
 File Number: PDD 2014-127 and PSD 2014-128

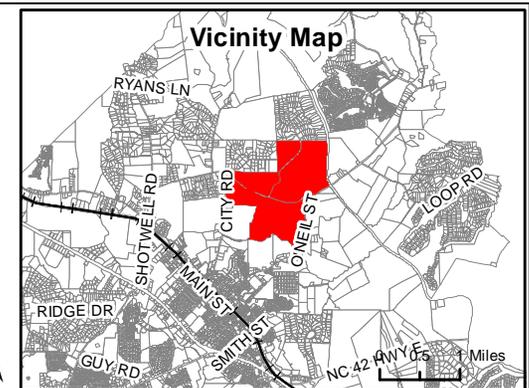
Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.
 11/12/14



Legend

- SteepleChase_Site
- Water Features





Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
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 Phone: 919-553-5002
 Fax: 919-553-1720

REZONING APPLICATION

Pursuant to Article 7, Section 155.704 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town Council to amend the Official Zoning Map.

Rezoning applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached) and the application fee. The application fee is \$500.00 for a rezoning to a Standard District. A rezoning to a Planned Development District requires a fee of \$1,000.00 +\$5.00 per acre. All fees are due when the application is submitted.

If the rezoning request is to a Planned Development District, the application must be accompanied by a Major Site Plan application and associated fees.

Please note that Section 155.702(B) of the Unified Development Code requires a Neighborhood Meeting for all Rezoning Petitions.

SITE INFORMATION:

Name of Project: Steeplechase Subdivision Acreage of Property: 631.06 AC (Assessed AC)
 Parcel ID Number: 05H02009 Tax ID: 0869846
 Deed Book: 03897 Deed Page(s): 0735
 Address: 1162 Covered Bridge Road, Clayton, NC 27520
 Location: South of Smith Ridge Estates and Ole Mill Stream Subdivisions, and North of Sams Branch
Greenway between Covered Bridge Road and City Road
 Existing Use: Vacant Proposed Use: Residential/Commercial
 Existing Zoning District: R-10, R-8, and Neighborhood Business (B-2)
 Requested Zoning District: PD MU
 Is project within a Planned Development: Yes No
 Planned Development District (if applicable): _____
 Is project within an Overlay District: Yes No
 Overlay District (if applicable): Watershed Protection Overlay District

FOR OFFICE USE ONLY

File Number: 2014-127 Date Received: 10/6/14 Amount Paid: \$4,155⁰⁰

OWNER INFORMATION:

Name: Nancy Crews Earp & Mary Earp Worley
Mailing Address: 7230 NC 42 East, Selma, NC 27576
Phone Number: 919-965-5793 & 919-915-1515 **Fax:**
Email Address: nancyearp@bellsouth.net & winkworley@gmail.com

APPLICANT INFORMATION:

Applicant: Galaxy NC, LLC c/o Wakefield Development
Mailing Address: 3100 Smoketree Court, Suite 210, Raleigh 27604
Phone Number: (919) 556-4310 **Fax:** (919) 556-0690
Contact Person: Kem Ard
Email Address: kem@wakedev.com

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

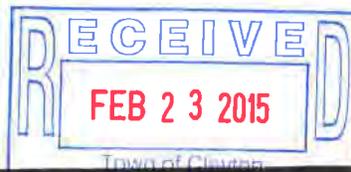
The following items must accompany a rezoning application. This information is required to be present on all plans, except where otherwise noted:

- A signed and sealed boundary survey (**not more than a year old unless otherwise approved by the Planning Department**) with the azimuth or courses and distances of every property line shown. Distances shall be in feet or meters and decimals thereof. The number of decimal places shall be appropriate to the class of survey required. The survey must include any and all easements of record (referenced by Deed Book and Page) and must be prepared by a surveyor registered in the State of North Carolina.
- Property legal description typed (10 pt. font or greater) on an 8.5 inch by 11 inch paper with one inch margins. The legal description must also be submitted electronically in Microsoft Word format.
- A copy of the last recorded deed for the subject property.

JUSTIFICATION STATEMENT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

The request is to rezone 631.06 acres at 1162 Covered Bridge Road from R-8, R-10 and neighborhood business (B-2) to PD MU. The development will include a mix of single family, townhomes, apartments, condominiums and commercial uses with a proposed density of 3.96 dwelling units to the acre which is a maximum of 2,500 dwelling units.



UPDATED FINDINGS OF FACT

APPROVAL CRITERIA

All applications for a Rezoning must address the following findings:

1. Consistency with the adopted plans of the Town.

The Town of Claytons Strategic Growth plan adopted in 2008 designates a majority of the property as residential medium and small portion as neighborhood commercial. The residential medium designation allows up to 8 dwelling units to the acre. The proposed use is for 3.96 dwelling units to the acre which is compliant with the Strategic Growth Plan.

2. Suitability of the subject property for uses permitted by the current vs. the proposed district.

The permitted uses and the proposed uses are generally the same. The subject property is primarily gently rolling land with the R. E. Earp pond located on the southern tract. The USDA soils study identifies this land as suitable for residential development.

3. Whether the proposed change tends to improve the balance of uses, or meets specific demand in the Town.

The proposed designation allows for a mixture of residential uses with some neighborhood commercial at the intersection of O'Neil and Covered bridge Roads. These uses proposed for this property are designated in Town of Clayton's Strategic Growth Plan and complies with the balance of uses identified in the plan.

4. The capacity of adequate public facilities and services including schools, roads, recreation facilities, wastewater treatment, potable water supply and stormwater drainage facilities is available for the proposed use.

The volume of wastewater to be generated is calculated to be 554,555 gallons per day at build-out for 2,200 units in 35 phases. Town engineering has indicated that downstream gravity outfall, pumping and treatment facilities are adequate for this volume. Public water supply needed to serve those units is expected to be 610,010 gallons and is available to the site. The site will meet all local, state and federal stormwater management criteria for both quantity and quality control on the property. Local road corridors have been analyzed and a Traffic Impact Analysis has been prepared and is now being updated per comments from NCDOT and Town officials. Final road improvement recommendations are pending. The proposed land plan will set aside both passive and active open space areas to serve the project. In addition a public greenway will pass through the site. A 28-acre school site is being reserved for a public school. The County Public School system has not indicated any concerns for student capacity issues due to the proposed project.

5. It has been determined that the legal purposes for which zoning exists are not violated.

The existing zoning is not in error and is compliant with the Town of Clayton Strategic Growth Plan. The rezoning to PD MU will still allow the current uses but will allow for the orderly and unified development of the site.

6. It has been determined that there will be no adverse effect upon adjoining property owners unless such effect can be justified by the overwhelming public good or welfare.

The proposed development has access to public water and sewer adjacent to the site. The stormwater will be treated on site and will address volume and quality issues prior to discharge. A Traffic Impact Analysis is in the process of being completed and should indicate that with the proposed road improvements adjacent to the site that there will be no adverse traffic impacts as well.

7. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public.

No one adjacent property owner will benefit at the detriment of the general public. The proposed uses are already permitted in the current zoning, the rezoning will allow for an orderly and unified development of the site. The orderly and unified development of the site should benefit the adjacent property owners overall.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Clayton to amend the Zoning Ordinance and change the Official Zoning Map of the Town of Clayton as requested. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Kem Ard
Print Name

[Signature]
Signature of Applicant

10-2-14
Date

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02009	EARP, RAYMOND ELMORE JR, MOORE, MARY	7230 NC 42 EAST, SELMA, NC 27576-0000
16I03028	HOUSE, MAVIS C	2873 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05H01010A	TYNDALL, CHARLES B JR TYNDALL, JUNE MARIE	101 MICHAEL WAY, CLAYTON, NC 27520-0000
05E99022W	CAPPS, BILLY WADE	1119 N ONEIL STREET EXT, CLAYTON, NC 27520-6240
05H01010Z	MURRAY, RICHARD H & MURRAY, JOELY A	115 KATIE DRIVE, CLAYTON, NC 27520-0000
05H02013B	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-2155
05H01010I	OBRIEN, ANGELLA J OBRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
05E99190G	LLOYD, CAROLYN C	2212 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026W	POPE FAMILY TRUST POPE, JIM TRUSTEE	2020 SMITH DR, CLAYTON, NC 27520-9029
05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT, CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
05H02011A	JONES, DEANNA LYNNE	1500 N O'NEIL ST EXT, CLAYTON, NC 27520-0000
05H02013A	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-0000
05H02010A	SMITH, JAMES D JEAN K SMITH TRUST	1814 N ONEIL STREET EXT, CLAYTON, NC 27520-6236
05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
05H02015A	JOHNSTON LAND GROUP LLC CEBCO CONSTRUCTION INC	PO BOX 591, MAMERS, NC 27552-0000

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

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PARCEL NUMBER	NAME	ADDRESS
05H01010V	HASKINS, WESLEY L HASKINS, ERIN L	1009 BROOKHILL DRIVE, CLAYTON, NC 27520-0000
05H01010Y	HUTCHINS, JOSHUA P HUTCHINS, PATRICIA	111 KATIE DR, CLAYTON, NC 27520-0000
05E99025J	COON, STEVEN M COON, ERIN M	2009 DONNA COURT, CLAYTON, NC 27520-0000
05E99025V	CREASY, JEFFREY L CREASY, SHARON	2001 SMITH DR, CLAYTON, NC 27520-0000
05E99190P	COATS, JEFFREY LAWRENCE	2008 DONNA CT, CLAYTON, NC 27520-0000
05E99023K	TURNAGE, PHYLLIS YOW	2009 WILLIAM LANE, CLAYTON, NC 27520-0000
05H01010C	POPE, ALAN K POPE, DAWN N	114 MICHAEL WAY, CLAYTON, NC 27520-0000
05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
05H01010B	WETMORE, MARK L WETMORE, TAMELA LYNN	104 MICHAEL WAY, CLAYTON, NC 27520-0000
05H01010X	WHITMAN, BRIAN HAROLD WHITMAN, GINA MUNDEN	105 KATIE DR, CLAYTON, NC 27520-5509
05H01010	FARMER, MARY ANN	100 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010D	FILLHART, ALAN THEODORE FILLHART, JEAN M	118 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010H	ALFORD, KENNETH W ALFORD, ANNETTE R	150 MICHAEL WAY, CLAYTON, NC 27520-5507
05H02017	BLACKLEY, DOUGLAS E BLACKLEY, LINDA F	1057 CITY RD, CLAYTON, NC 27520-5907
05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
05G02007G	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02017B	MIMS, ALLEN LESTER JR	920 CITY ROAD, CLAYTON, NC 27520-0000
05E99021R	TOWN OF CLAYTON	PO BOX 777, CLAYTON, NC 27528-0777
16I03028C	SORRELL, DAVID M SORRELL, SABRINA	2641 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05E99190I	WHITLEY, WILLARD H WHITLEY, BETTY J	2000 KEVIN CT, CLAYTON, NC 27520-0000
05H02017H	MIMS, ALLEN L JR MIMS, EMILY LEE	920 CITY RD, CLAYTON, NC 27520-0000
05H02009A	EARP, RAYMOND E JR MOORE, RICHARD EARP	7020 EAST NC 42 HWY, SELMA, NC 27576-0000
05H02011	JONES, TRACY L JONES, DEANNA L	1504 N ONEIL ST EXT, CLAYTON, NC 27520
05H02011B	JONES, TRACY L	1538 NORTH ONEIL STREET EXT, CLAYTON, NC 27520-0000
05H02015D	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000
05H02199Y	MCINTYRE, MARTHA ANN	1233 MT CARMEL CHURCH RD, TROY, NC 27371-0220
05E99025Y	POURRON, CHARLES WAYNE	3654A COVERED BRIDGE RD, CLAYTON, NC 27527
16I03029	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000



**Town of Clayton
Planning Department**

111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STEF PURCHASE Address or PIN #: 066900-38-4997

AGENT/APPLICANT INFORMATION:

Kem Arn
(Name - type, print clearly)

3100 SMOKE TREE CT
(Address)
RALEIGH NC 27604
(City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

ROWING - PLAN DEVELOPMENT
& Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Mary Earp Worley
(Name - type, print clearly)
Mary Earp Worley
(Owner's Signature)

7020 NC 42 East
(Address)
Selma, NC 27576
(City, State, Zip)

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of October, 2014.

SEAL



Francis T. Quinn
Notary Public

My Commission Expires: MAY 5, 2016



Town of Clayton
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STEEPLECHASE **Address or PIN #:** 066900-30-4997

AGENT/APPLICANT INFORMATION:

Kem Ard
 (Name - type, print clearly)

3100 SMOKE TREE CT
 (Address)
Raleigh NC 27604
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (*list applicable requests*):

REZONING - PLAN DEVELOPMENT
+ Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Nancy C Karp
 (Name - type, print clearly)

7230 NC 42 E
 (Address)

Nancy C Karp
 (Owner's Signature)

Selma, NC 27576
 (City, State, Zip)

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before me Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of OCTOBER, 2014.

SEAL



Francis T. Quinn
 Notary Public

My Commission Expires: MAY 5, 2016

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Martha McDuttyre 1233	mt Carmel Ch. Rd, Troy, NC 27576
2	Katherine Libos, 1577	Business Town Rd, Robbins, NC 27325
3	Daniel Smith 509	Starling St, Clayton, NC 27520
4	Joy Hill 2013	Missig Lane, Clayton, NC 27520
5	Marlene Markley	116 Debban Dr. Clayton 27520
6	Brian Markley	604 Charleston Pr. Clayton 27520
7	DAVID SAMMONS	147 MICHAEL WAY CLAYTON 27520
8	RICHARD CARLI	22 CEDARDALE CT CLAYTON 27520
9	LOIS CARLI	" " " "
10	JERRY BARNES	104 CEDARDALE CT 27520
11	Doug Blackley	1057 city Rd Clayton NC 27520
12	Kimberly Jones	113 Claire Dr. Clayton NC 27520
13	Jim Mann	142 Claire Ave. Clayton, NC 27520
14	Cliff Morgan	146 Claire P. Clayton, NC 27520
15	Kathy Leibel	672 Christophu Dr Clayton NC 27520
16	Karen Spicer	1163 Brookhill Dr Clayton 27520
17	THOMAS MALFACS	2201 DOWN CT, CLAYTON NC 27520
18	Robbie Pope	2008 Smith Dr. Clayton NC 27520
19	James O. Smith	1814 O'Neil Street Clayton
20	George & Betty Ross	1305 Brookhill Drive 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Scott Winslow	150 Claire Dr. Clayton NC 27520
2	Jack & Pat Bachelor	120 Christophe Dr. Clayton
3	John & R. House	2975 Covered Bridge Rd, Clayton
4	Wendy & Nicholas Nowakowski	2012 Missy Ln Clayton NC 27520
5	Mavis House	2873 Covered Bridge Rd. Clayton 27527
6	Chrysdell	101 Michael Way
7	Jane Tyndall	101 Michael Way Clayton
8	Bul Robinson	2304 Smith Dr Clayton
9	C.L. DUKE MCNICHD	
10	Adam Netko	508 Christopher Dr., Clayton
11	Mark Altman	115 Debar Drive Clayton <small>Ole Mill Stream</small>
12	William Whittier	2000 Kevin Ct Clayton, N.C.
13	Susan & Billy Kapps	1119 N Oneil St
14	Jerry Dawson	357 Christopher Dr Clayton
15	Danielle Fischer	2008 William Ln, Clayton
16	Linda Bowman	2000 Donna Ct, Clayton
17	Mark A. Peedin	154 Peedin Ext Selma 27576
18	Amy Marie Cliff Carawan	101 Katie Drive
19	Allen Mims	920 City Rd. Clayton
20	Tom & Marthann Witzig	104 Christopher Dr. Clayton 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Wesley + Erin Haskins	1009 Brookhill Drive Clayton, NC 27520
2	John Clarke	1415 Brook Hill Drive
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NEIGHBORHOOD MEETING SUMMARY FORM



FILL OUT THE FOLLOWING:

Date of Mailing: the mailing was completed on Friday October 17, 2014.

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: Kenneth D. Thompson Signature: [Handwritten Signature]

Date of Meeting: October 27, 2014 Time of Meeting: 7 PM

Location of Meeting: The Clayton Center

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

Meeting began a little after 7 PM. Ken Thompson presented the project to the audience and allowed questions to be asked during the presentation. The major concern issue was traffic related. the neighbors to the north of the project in Smith Ridge and Old Mill Stream we opposed to the extension of the existing road stubs in their neighborhoods. Mr. Thompson explained that inter connectivity was good planning practice and required by the town and EMS. The issue regarding traffic was discussed at length and Mr. Ard, the developer, explained that a traffic impact analysis (TIA) was being completed and that he was obligated to make the improvements recommended by the the TIA and NCDOT. It was stated these road improvements could be but not limited to road widening, deceleration lanes, turn lanes, traffic lights, etc. and the timing would be dependent upon the development thresholds noted in the TIA. the neighbors were happy to hear that covered bridge would be realigned at the east and west limits of the property. Everyone was also happy to hear that the pond would be preserved. the forma presentation ended around 8:15 and Mr. Thompson and Mr. Ard remained until 9 PM answering individual questions.

Please write clearly (or submit a typed summary), and use additional sheets if necessary.



510 Glenwood Avenue, Suite 201 | Raleigh, NC 27603 | tel 919-835-1500 | fax 919-835-1510

Friday October 17, 2014

Dear Clayton Area Property Owner: The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: Monday October 27th

Location: The Poole Room at the Clayton Center @ 111 E 2nd Street, Clayton NC 27520

Time: 7:00 PM

Type of Application: Planned Development Rezoning and Preliminary Subdivision Master Plan

General Description: Steeplechase is Planned Development of 631 acres located at 1162 Covered Bridge Road near the intersection of Covered Bridge Road and Brookhill Drive. The request, if approved, will allow up to 2500 residential units which will be a mix of single family homes, townhomes, apartments and condominiums. A commercial element is being proposed at the intersection of Covered Bridge Road and O'Neil Street.

If you have any questions prior to or after this meeting, you may contact us at 919-835-1500 x 242

Sincerely,

Kenneth D. Thompson, RLA, LEED AP, NCLID
Senior Associate / Landscape Architect

cc: Clayton Planning Dept.



TOWN OF CLAYTON
ZONING AMENDMENT
CONSISTENCY AND REASONABLENESS STATEMENT

PDD2014-127
Steeplechase rezoning to PD-MU

The Town Council of the Town of Clayton hereby states:

Section 1: The above referenced zoning amendment IS CONSISTENT with:

The Town of Clayton's Strategic Growth Plan, specifically:

- The Proposed Land Use Map (Figure 6.4)
- Objective 1.2 – increase residential presence in downtown.
- Objective 2.1 – balance development/investment: old & new.
- Objective 2.5 – more housing opportunities: beyond starter homes.
- Objective 5.1 – expand greenway program.

Section 2: Based upon information presented at the public hearings and by the applicant, and based upon the recommendations and detailed information developed by staff and the Planning Board contained in the staff report, and considering the criteria applicable sections of the Unified Development Code of the Town of Clayton, specifically:

- **Staff recommends that the Planning Board approve the rezoning.**
- **The Planning Board recommends an approval of the rezoning at their February 23, 2015 meeting.**
- **The Planning Board recommended approval of the Steeplechase Planned Development Master Plan (PSD2014-128, which functions as the Preliminary Subdivision Plan at their February 23, 2015 meeting.**

the above referenced zoning amendment is reasonable and in the public interest.

COUNCIL MOTION SHEET
ZONING ORDINANCE AMENDMENT
(Rezoning or Text Amendment)

After considering the recommendations of the Planning Board and Planning Director, I move to [**approve OR deny**] [**PDD 2014-127**]

[IF APPROVING]

and to approve the Statement of Consistency and Reasonableness included in the Agenda packet [with the following modifications: STATE MODIFICATIONS, IF ANY].

**AN ORDINANCE AMENDING THE ZONING ORDINANCE
AND ZONING MAP
OF THE TOWN OF CLAYTON, NORTH CAROLINA**

PDD 2014-127 “Steeplechase Planned Development” Rezoning to PD-MU

WHEREAS a petition has been filed with the Town Council of the Town of Clayton requesting an amendment to the Zoning Ordinance and Zoning Map of the Town of Clayton to include in the Planned Development – PD-MU zone the property described below, said property formerly being zoned Residential (R-8), Residential-10 (R-10) and Neighborhood Business (B-2); and

WHEREAS said property is owned by Nancy Crews Earp and Mary Earp Worley; and

WHEREAS the Planning Board of the Town of Clayton has reviewed the proposed change(s) and made a recommendation thereupon; and

WHEREAS notice of a public hearing to consider the proposed change was published in accordance with law in the Clayton News Star, a local newspaper, as required by Section 155.702(D) of the Clayton Unified Development Code and by Section 160A-364 of the North Carolina General Statutes; and

WHEREAS a notice of the proposed zoning classification action was mailed to the owner(s) of the parcel(s) of land involved, as shown on the County Tax Listings, and to the owners of all parcels of land abutting that (those) parcel(s) of land and within 100 feet of the subject parcel(s) of land, as shown on the County Tax Listings, by depositing a copy of the same in the United States Mail, first class postage paid, as required by Section 155.702(D) of the Zoning Ordinance of the Town of Clayton and by Section 160A-384 of the General Statutes; and

WHEREAS the said public hearing was actually conducted at 6:30 p.m. on March 2, 2015, wherein a reasonable opportunity was given to all those in attendance to speak either in favor or against the said change or to make relevant comments;

THEREFORE, after duly considering the matter, THE TOWN COUNCIL OF THE TOWN OF CLAYTON DOES HEREBY ORDAIN:

SECTION 1. That the Unified Development Code of the Town of Clayton is hereby amended to include in the Planned Development – PD MU zone the following described property:

General Description:

South of Smith Ridge Estates and Ole Mill Stream Subdivision, North of Sam's Branch Greenway, between Covered Bridge Road and O'Neil Street on the east, and City Road on the west, with Covered Bridge Road, and Brookhill Drive running partly through the parcel.

Specific Description:

Parcel No. 05H02009 Tax ID #0869846

SECTION 2. That the official Town of Clayton Zoning Map is hereby amended to include in the Planned Development – PD-MU zone the above-described property and will be so marked.

SECTION 3. That if any section, sentence, clause, or phrase of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance.

SECTION 4. That this ordinance shall become effective immediately upon its adoption.

DULY ADOPTED this 16th day of March, 2015.

Jody L. McLeod, Mayor

ATTEST:

Kimberly A. Moffett, CMC
Town Clerk

PDD 2014-127

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 5b

Meeting Date: March 16, 2014

TITLE: Public Hearing - PSD 2014-128

DESCRIPTION: Steeplechase Planned Development – Preliminary Plat/Master Plan. The applicant is requesting Master Plan approval, with the Master Plan acting as the Preliminary Subdivision Plat approval, for the for the Steeplechase Planned Development to allow a maximum of 2,200 residential units and 75,000 square feet of commercial uses.

RELATED GOAL:

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
2-16-15	Set Public Hearing for March 2, 2015	Staff Report Supporting Documents
3-2-15	Public Hearing TABLED	Updated Staff Report Supporting Documents
3-16-15	Public Hearing To be Tabled	Staff Report Supporting Documents



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

*Town Council
February 16, 2015*

STAFF REPORT

Application Number: PSD 2014-128 (Preliminary Plat / Master Plan for Planned Development)
Project Name: Steeplechase Planned Development

Associated Application: PDD 2014-127 (Rezoning to PD-MU)
NC PINs: 166900-38-4997
TAG #s: 05H02009
Town Limits/ETJ: Town Limits
Overlay: None
Applicant: Galaxy NC, LLC, c/o Wakefield Development
Owners: Raymond Elmore Earp Jr. Irrevocable Trust

Neighborhood Meeting: Held October 27, 2014
Public Noticing: Property posted November 7, 2014

PROJECT LOCATION: The approximately 631 acre project is generally located east of City Road, west of North O'Neil Street, and between Sam's Branch and the Neuse River.

REQUEST: The applicant is requesting Master Plan approval, with the Master Plan acting as the Preliminary Subdivision Plat approval, for the for the Steeplechase Planned Development to allow a maximum of 2,200 residential units and 75,000 square feet of commercial uses.

SITE DATA:

Acreeage: 631.04 acres
Present Zoning: Residential Estate (R-E), Residential 10 (R-10), Residential 8 (R-8), Neighborhood Business (B-2)
Proposed Zoning: Planned Development – Mixed Use (PD-MU)
Existing Use: Vacant/Agriculture/Forested
Existing Impervious: None – site is undeveloped
Overlay: Partially within the Watershed Protection Overlay (a small portion of the site in the southeast corner)

DEVELOPMENT DATA:

All information below is as proposed by the applicant. Planned developments are unique in that they do not carry pre-established development standards. All bulk, area, and dimensional standards are set by the approval process and are binding once approved by Town Council. (See §155.202(L)). PLEASE NOTE THAT ALL MODIFIED DEVELOPMENT STANDARDS ARE SPECIFICALLY LISTED IN THE MASTER PLAN DOCUMENT. STANDARDS WHICH ARE NOT SPECIFICALLY CALLED OUT MUST MEET THE MINIMUM REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE.

Proposed Uses:	Residential/Non-residential – mix of housing types (single family, townhomes, condominiums and apartments), recreational amenities, and commercial uses.
Proposed Buildings:	Multiple buildings and phases include mixed residential, commercial and recreational (club house) buildings.
Proposed Residential Density:	Maximum 4 units per acre for residential portion of property (calculation does not include commercial site)
Proposed Commercial Intensity:	9.91 acres / 80% per lot building coverage / 75,000 SF max.
Proposed Maximum Building Height:	<p>Detached Homes – Single Family: 35 feet max.</p> <p>Attached Homes – Townhome & Single Family: 45 feet max.</p> <p>Multi-Family – Condos & Apartments: 55 feet max.</p> <p>Amenity and Club: 45 feet max.</p> <p>Commercial Area: 80 feet max.</p> <p><i>Staff note: For reference, the maximum height in all existing general residential zoning districts is 35 feet. Maximum height in existing general commercial zoning districts is 60 feet (in B-3 and O-1). Maximum height for apartments/condos/townhomes is set by the Planned Development process.</i></p> <p><i>Staff supports the request for 80 feet in height for the Commercial area because it would allow for mixed use development with office and residential uses in upper stories.</i></p>
Proposed Impervious Surface:	<p>Overall Development: 70%</p> <p><i>The Master Plan is divided into a series of phases. Some phases may exceed maximum impervious with the understanding that the overall project may not exceed the maximum impervious surface percentage. As each phase is approved for development, it will be reviewed for consistency with the maximums set in the Master Plan, ensuring the overall development does not exceed the 70% maximum.</i></p>
Required Parking:	Parking will be required as established by the Unified Development Ordinance and will be reviewed as each phase is approved for development.
Access:	Primary access is identified along Covered Bridge Road (3 aligned entrances/intersections) and North O’Neil Street (two entrances).

	Additional internal connections exist along Brook Hill Drive as well as interconnectivity to existing stub streets in Smith Ridge estates and Old Mill Stream subdivisions. Additional access points may occur on City Road if the School District utilizes the portion of the site set aside for school use. Several major roadway improvements will be necessary as a part of this development. Details of roadway and intersection improvements will be determined as part of the review of the Traffic Impact Analysis. The Traffic Impact Analysis review by NCDOT is included as an attachment to this staff report.
Water/Sewer Provider:	Town of Clayton
Electric Provider:	Town of Clayton
Proposed minimum Recreation and Open Space:	Overall: 64.98 Acres Active Recreation: 16.245 acres <i>See discussion on Recreation and Open Space, below. Recreation and Open Space and Active Recreation acreages are minimums and cannot be reduced except by Town Council approval via a major modification to the Master Plan.</i>
Proposed Dimensional Standards:	Minimum Dimensional Standards (setbacks, building coverage, and height) are set based on use in the Master Plan. The Master Plan includes a provision that all setbacks may be modified by up to 20% with approval by the Planning Director.

ADJACENT ZONING AND LAND USES:

- North:** Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential
- South:** Zoning: Residential Estate (R-E), Residential 8 (R-8 SUD)
Existing Use: Vacant / Single Family Residential /Agriculture
- East:** Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential / Agriculture
- West:** Zoning: Residential Estate (R-E)
Existing Use: Single Family Residential

STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting preliminary subdivision plat approval for the Master Plan for the Steeplechase Planned Development. This 631 acre project is under concurrent request to be rezoned to Planned Development

Mixed Use (PD-MU) under case # PDD 2014-127. Both the rezoning and the master plan must be approved for the PD-MU District to be approved.

The Master Plan is also acting as the Preliminary Subdivision Plat, as is permitted by the UDC. All dimensional standards are set within the Master Plan, along with basic street and development patterns, and regulating sheets are included to guide the form of development components. This means that as each phase of the development moves towards construction, the specific details within each phase (exact placement of lot lines, for example) will be reviewed and approved by staff as a final plat. Individual site components are required to be consistent with the design and standards presented in the regulating and master plan.

- *Note: The exceptions to the above include the commercial parcel, condo/apartment/townhome sections and recreation areas. The condo/apartment/townhome sections will either be kept under single ownership as rentals or subdivided into lots which encompass the unit only leaving the remainder of the land in common ownership. Consequently the condo/apartment/townhome sections may be processed as a Major Site Plan with approval by the Planning Board. Development of the recreation areas will be processed as Minor Site Plans (staff-level review). The commercial parcel will go back to Planning Board for major site plan review/approval.*

Other modifications to this approved Master Plan deemed "Major" will return to the Town Council for review and approval.

The applicant is requesting a maximum of 2200 residential units, to be comprised of a mix of single family and multi-family units. The units are clustered in a range of densities. The commercial parcel is limited to 75,000 square feet of commercial uses. The project includes both active and passive recreation and open space, and identifies resource conservation areas as permanently preserved (as is required).

The Master Plan also identifies a potential school site. The applicant is in discussions with Johnston County Public Schools, and the site will be reserved for 18 months from the date of approval to acquire the site in accordance with §155.605(A) of the UDC.

Planned Development Review Criteria

The regulations below are the components of the UDC that pertain to the review of Planned Developments:

Definition:

Definition of PD-MU (§155.200(A)(3)(d)): "The PD-MU district is intended to provide coordinated mixed-use developments which include light industrial, commercial, office, educational, civic, institutional, residential and service uses within a planned development with appropriate perimeter buffering and open space. The variety of land uses available in this district allows flexibility to respond to market demands and the needs of tenants which provides for a variety of physically and functionally integrated land uses."

Per §155.203(L), Planned Developments are subject to the following requirements:

- The development proposed in the master plan is compatible with the character of surrounding land uses and maintains and enhances the value of surrounding properties.
- Each planned development shall provide a comprehensive set of design guidelines that demonstrate the project will be appropriate within the context of the surrounding properties and the larger community. All bulk, area and dimensional standards shall be established by the Town Council at the time of approval.

- No resource conservation area (see § 155.500) shall be counted towards lot area. This shall not preclude the platting of lots in such areas, provided that adequate lot area outside the resource conservation area is provided.
- No resource conservation area shall be counted towards the recreation and open space requirements.
- The planned development master plan shall meet or exceed the recreation and open space requirements of an open space residential subdivision.
- A phasing plan is required.

Master Plan Approval Criteria (§155.705(K)):

1. Compliance with all applicable requirements of the UDC;
2. Consistency with the Clayton General Design Guidelines;
3. Conformance of the proposal with the stated purpose of the requested planned development district;
4. Compatibility of the proposed development with the adjacent community;
5. The quality of design intended for each component of the project and the ability of the overall development plan to ensure a unified, cohesive environment at full build-out;
6. Compatible relationships between each component of the overall project;
7. Self-sufficiency of each phase of the overall project;
8. Documentation that the proposed infrastructure improvements accommodate the additional impacts caused by the development, or documentation to assure that the development, as proposed, will not overtax the existing public infrastructure systems;
9. The fiscal impact of the proposal and the proposed financing of required improvements;
10. The success of the proposal in providing adequate pedestrian and bicycle links within the development and with the adjacent community; and
11. The effectiveness with which the proposal protects and preserves the ecologically sensitive areas within the development.

Preliminary Plat Findings of Fact

Since the Master Plan is also acting as a Preliminary Subdivision Plat, the applicant is required to address the Findings of Fact outlined in §155.706 of the UDC. These have been included as an attachment to this report.

Consistency with the Strategic Growth Plan

The request is consistent with the following objectives of the Strategic Growth Plan:

- Proposed Land Use Map
- Objective 2.1 Balanced Development/ Investment: Old and New
- Objective 2.3 Expand Wastewater Capacity: Treatment and Transmission
- Objective 2.5 More Housing Opportunities: Beyond Starter Homes (*Continue to encourage diverse housing stock. Promote planned development, which allows more flexibility in housing types.*)
- Objective 5.1 More Developed Parks and Parkland

The Proposed Land Use Map shows the site as “Residential – Light and Neighborhood Commercial.”

Consistency with the Unified Development Code

The proposed development is consistent with and meets the applicable requirements of the Unified Development Code (UDC). Individual lot development specifications including landscaping, building placement, access, driveway placement, etc. are required to be set as a part of the planned development, meet all other applicable Town standards, and be consistent with the provisions of the approved Master Plan.

Compatibility with Surrounding Land Uses

The overall proposed density is 4 dwelling units per acre. Under the current zoning, which includes R-10, R-8, and B-2 zoning districts, the subject property could currently be developed using Conventional Subdivision standards with approximately 2,520 single family lots and 426,888 square feet of commercial uses. These numbers go up substantially if Open Space subdivision standards are utilized. The conventional development standard allocations were determined as follows:

Ex. Zoning	Acreage	Max. Density/Acre	Max. Intensity/Building Coverage	Dwelling Units	Square Footage
R-10	536.6	4	N/A	2,146	N/A
R-8	74.86	5	N/A	374	N/A
B-2	19.6	N/A	50%	N/A	426,888
TOTALS	631.06			2,520	426,888

Because the property is being processed as a Planned Development, units may be clustered to achieve higher densities in some areas while keeping lower densities in other areas to achieve a balance in residential types and lot sizes. Portions of the site will develop with higher residential density than others (i.e. the townhome and apartment options). Those higher densities are located closer to major intersections, while the portions of the site designed for single family detached (lower densities) are designed in the areas adjacent to existing subdivisions, providing a transition from the higher density/intensities.

The proposed density on the subject property is very similar to the zoning of adjacent property to the south (Residential-10, which allows minimum 10,000 square foot lots, or 4 units per acre; and R-8 which allows 8,000 square foot lots, or approximately 5 units per acre). Properties to the east are primarily undeveloped, agriculture, or very large lot single family residential (residential unit located on very large properties). Ole Mill Stream and Smith Ridge Estates directly to the north are established neighborhoods developed at densities of approximately 1 unit per acre.

While those adjacent neighborhoods do have lower densities, Riverwood, to the north, was developed at a similar density to the proposed rezoning.

The commercial parcel proposed at the intersection of Covered Bridge Road and O’Neil Street has reduced in size from approximately 19.6 acres to 13.51 acres. The development plan is limiting the development of the commercial site to a maximum of 75,000 square feet of floor area.

Given the property’s adjacency to Clayton’s “core,” staff is supportive of the development of the entire property as a Planned Development and the proposed density of 4 units per acre so long as adequate measures are taken to ensure traffic safety and desirable neighborhood design that makes this development a benefit to the Town and a desirable place to live.

Landscaping and Buffering

A 20 foot Class C perimeter buffer is provided along the boundary of the property, including along Covered Bridge Road where it bisects the north and south portions of the property. Where able, existing trees and vegetation will be preserved to meet the standards of the Class C buffer. Where a Class C buffer is planted, it will be a minimum of 20 feet in width. All landscaping is required to meet the standards for height and caliper as established in the UDC. Street tree species are required to receive approval from the Planning Director as they will be located in the public right-of-way.

Street trees must be canopy trees and spaced a maximum of 40 feet apart. Street trees will be placed in a widened planting strip located between the sidewalk and street.

Recreation and Open Space

Planned Developments are required to meet or exceed the standards established for open space subdivisions. Required and provided recreation and open space is listed below:

Overall Recreation and Open Space

Planned Developments are required to meet the minimum standards for Recreation and Open Space as set for Open Space Subdivisions in the UDC. Overall Recreation and Open Space requirements include preserved land, passive open space, and active recreation areas. Recreation and Open Space may NOT include resource conservation areas (RCAs) such as riparian buffers, wetlands, ponds, and areas of 25% slope that exceed 5,000 sf in area (the exception to this rule is that the area of a paved greenway may be counted to recreation and open space if located in a RCA).

Required: Either 12.5% of net site area **OR** 1,245 sf per unit, whichever is greater.

2,200 units x 1,245sf = 2,739,000 sf or 63 acres

Net Site Area is 631.06 acres – 111.19 acres in resource conservation areas = 519.87 acres
519.87 ac * .125 = 65 acres

As shown above, as currently proposed, the 12.5% calculation results in the greater number, requiring 65 acres of recreation and open space.

Proposed: 65.08 acres outside of the RCA's.

Improved Recreation Areas

A certain amount of the required Recreation and Open Space must be developed as active recreation amenities for the development.

Required: At least 25% of the required recreation and open space shall be improved.
25% of 65.08 acres is 16.27 acres.

Provided: 29.22 acres

The acreage of proposed recreation and open space will be established as the minimum for the development and will be binding on the development of the property. The established minimums for both overall Recreation and Open Space as well as Active Recreation and Open Space cannot be reduced except by Town Council.

Dedication of Recreation and Open Space to the Town

Per §155.203(I)(2)(a), "all residential development shall be required to either dedicate a portion of the land, or make a payment-in-lieu of dedication at a rate set forth in the town's Comprehensive List of Fees and Charges per lot or dwelling unit." A mix of dedication and fee-in-lieu may be utilized.

At this time, the Town and the developer are discussing the possible donation of Phase 7 (11.13 acres) for use as a public trailhead and park.

Greenways and Sidewalks

The Master Plan proposes a series of interconnected greenways and sidewalks to provide multi-modal access throughout the development.

- Sam's Branch Greenway: The existing Sam's Branch Greenway currently ends just to the east of the southeastern corner of the property, which planned extensions running along the southern boundary of the property along Sam's Branch creek and further west.

The Town is currently in the design phase for the extension of the existing Sam's Branch Greenway west to the entrance to Legend Park (known as "Sam's Branch Phase II"), an extension which traverses the south boundary proposed development. Sam's Branch Phase II greenway also provides potential important connections to downtown Clayton via future connections from Legend Park to the downtown street networks. This phase of the greenway also provides access to Legend Park, which includes a softball field and mountain bike trails.

Future extensions of the greenway just west of Legend Park will provide multi-modal access along City Road to the Municipal and Civitan Parks, as well as to the amenities of Downtown Clayton.

The Sam's Branch Greenway already connects to the Mountains to Sea Trail (aka "Neuse River Greenway"), an almost 30 mile uninterrupted greenway which connects into Raleigh's greenway network, with future extensions planned. This section of the greenway in Clayton is also part of the designated East Coast Greenway network along the eastern coast of the United States.

- Proposed Greenway/Sidewalk exchange
Typically, sidewalks are required on both sides of all streets of new development (including along existing roadways). Staff supports the applicant's proposal to waive the requirement for sidewalks on both sides of the road (reducing it to sidewalks on one side of the road) for identified portions of the development's roadway network so long as a minimum 10 foot wide paved multi-use path / greenway is provided elsewhere in the development at an equal exchange based on construction costs. Staff supports this because while some accessibility is lost with the reduction in sidewalks, this accessibility is made up by the presence of a multi-use path which provides access to other portions of the development, and acts as a part of the Sam's Branch Greenway Trail. Benefits to the applicant include the ability to use the calculated square footage of the paved pathway toward their improved/active recreation requirements and a reduced roadway cross-section width.

Environmental

As required in the UDC, resource conservation areas (including riparian buffers, ponds/waterways, 100-year flood zones, and steep slopes) shall be preserved by a binding legal instrument recorded with the deed as each phase is platted (see Article 5 of the UDC). Additionally, the development will be required to meet any state requirements for protection not addressed by the UDC. Riparian buffers that meet the definition of the UDC in Article 5 shall include a 50 foot undisturbed buffer, measured from the top of bank.

According to the Master Plan, there are 111.19 acres of RCAs on the site, all of which shall remain undisturbed unless proper permits and approvals for disturbance are received from the State or Town, as applicable.

Signs

A Master Sign Plan is required for all signage associated with the development. A typical entrance sign design is shown in the Master Plan. Entrance signs shall be required to meet or exceed the approved sign style set in the Master Plan.

Access/Streets

The primary development access point is located off of Covered Bridge Road, will provide access to the future clubhouse area on the southern portion of the site, and shall align with the existing Brook Hill Drive. All external access shall be approved by either NCDOT or the Town as applicable.

The applicant has provided a detailed Vehicular and Pedestrian Circulation Plan which is part of the Master Plan. The actual alignment of the internal road network as shown on the Plan is for visual reference only and is not binding; road alignment may vary as individual phases are approved so long as basic design components such as shorter block lengths and interconnectivity are maintained. However, external connection points and identified improvements to existing roads and intersections are binding and cannot be modified without major modification approval by the Town Council.

Traffic Impact Analysis

A Traffic Impact Analysis (TIA) has been completed by the applicant and reviewed by NCDOT and the Town. The comments provided by NCDOT have been provided as an attachment to this staff report. The applicant will have the opportunity to revise the TIA and address the traffic comments. Ultimately, the traffic improvements deemed necessary by NCDOT and the Town shall be installed prior to the issuance of a certificate of occupancy for the phase that generates the need for the improvement.

Required Access Points

Per the UDC, no more than 75 certificates of occupancy may be issued within the subdivision until a required secondary access has been constructed or bonded for construction. No more than 250 certificates of occupancy may be issued within the subdivision until the required third access has been constructed or bonded for construction. Access points to existing "stub-out" streets in existing subdivisions (Ole Mill Stream, Smith Ridge Estates) will be required to be constructed as part of the associated phase of development.

Alternative Cross-Section

An alternative cross-sections are proposed as part of this development. As discussed in the Recreation and Open Space component of this report, the cross-sections reflect the proposal to allow sidewalk on just one side of the street in identified roadways within the development.

Several cross-sections propose a planting strip between the sidewalk and the road edge, thus placing the street trees in the public right-of-way. Staff supports the planting strip because of improved aesthetics and enhanced pedestrian safety when the sidewalk is further from the road and buffered by trees.

Cross-sections on NCDOT roadways (City Road, Covered Bridge Road, and North O'Neil Street) will be ultimately approved by NCDOT. Staff will require a minimum 10 foot paved greenway along these roadways as shown on the Master Plan.

Multi-Modal Access

The location of the proposed greenways allow for the extension of Sam's Branch Greenway to Downtown to Legend Park and Municipal Park.

Please see the “Alternative Cross-Section” discussion in the “Access/Streets” section of this report, as well as the “Greenways and Sidewalks” discussion within the “Recreation and Open Space” section of this report for more information on multi-modal access.

Architecture/Design

Mix of Housing Types

While a range of housing types are included in the Master Plan, the exact mix and location of housing types is not intended to be finalized by this Master Plan. To ensure some mix of housing, a minimum of 10% of low, medium, and high density housing development is set by the Master Plan. Beyond this minimum, so long as a mix of housing types is included and the maximum number of units is not exceeded (mix to be chosen from the pre-established housing types in the Master Plan), the number of each type of housing may vary depending on market conditions, etc.

Design

Types of houses to be included in the development are noted on the regulating plan. A graphic architectural elevation of the building type is also included. The elevations are not intended as a set standard, but the final housing product will be required to be consistent with or exceed the style, quality, and materials shown in the graphics. It is required that architectural elevations of the housing types vary from home to home to ensure visual interest.

Setbacks and other Dimensional Standards

Dimensional standards (setbacks, building/house coverage, impervious limits) are set by the Master Plan and approved by the Town Council.

A Note on Townhomes

The UDC sets certain standards for townhome design if a garage is present. If the townhomes have garages, they will be required to meet Town of Clayton standards as addressed in Section 155.301(J) which sets standards such as garage width in relation to the home width. Driveway placement on each lot will also be required to meet the requirements of the UDC. Any requirements that pertain to townhome design will be addressed either through the final plat or site plan review process, as applicable.

Commercial

The commercial component will include architectural and contextual standards as indicated in the Master Plan and Regulating Plan. The development will have an Architectural Review Committee who will review the commercial architecture. Town Staff and Planning Board will also review the architecture and site layout as a part of a Major Site Plan approval.

Waivers/Deviations/Variations from Code Requirements

Per §155.706 of the UDC, the Town Council is authorized to waive certain requirements of §§ 155.600 through 155.607 if it is clear that adequate provisions for the type and intensity of the proposed use has been or will be provided, and there are special circumstances, such as unique characteristics of the lot and area, or strict interpretation of the requirements render the subdivision of the property not feasible or desirable. The UDC states that waivers should meet the following criteria:

1. The granting of the waiver will not be detrimental to the public safety, health, or welfare or injurious to other property or improvements in the neighborhood in which the property is located;

2. The conditions upon which the request for a waiver is based are unique to the property for which the waiver is sought and are not generally applicable to other property;
3. Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of this chapter are enforced; and
4. The purpose of the waiver is not based primarily upon financial consideration.

The following waivers have been requested by the applicant:

1. Waiver from the Town-approved cross-sections. Revised street Cross-Sections have been requested, as shown in the Master Plan.
 2. Waiver from §155.602(H), which requires sidewalks on both sides of all streets. Allow construction of 10 foot paved multi-use path / greenway on a linear foot-for-foot basis, in place of a fee-in-lieu.
 3. Waiver from §155.602(G) which states that “No residential street cul-de-sac serving lots less than 20,000 square feet in size shall exceed 700 feet in length.” The request is to allow a cul-de-sacs with a length greater than 700 feet to serve lots less than 20,000 square feet in size with approval from the Town of Clayton Fire Marshal.
-

CONSIDERATIONS

- The applicant is requesting approval of a Master Plan for the Steeplechase Planned Development. The Master Plan also acts as the preliminary subdivision plat and so the approval process is quasi-judicial.
 - This approval is subject to approval of PDD 2014-127 (Rezoning to PD-MU).
 - The final decision is made by the Town Council with recommendation from the Planning Board.
 - The Planning Board did not make a recommendation at their January 26, 2015 meeting, and will open the item again at their February 23, 2015 meeting.
 - The applicant is requesting a wastewater allocation of 554,555 gallons per day phased in over time. The Wastewater Allocation must be approved by the Town Council.
-

FINDINGS

The applicant has addressed the Major Subdivision Approval Criteria outlined in UDC Section 155.706. The applicant’s Findings of Fact are incorporated into the record as an attachment to the Staff Report.

STAFF RECOMMENDATION

Staff is recommending:

- 1) Approval of the requested waivers.
- 2) Approval of the Wastewater Allocation request.
- 3) Approval of the Master Plan with the conditions listed below.

CONDITIONS:

1. Following Board approvals, three copies of the Master Plan / Preliminary Subdivision Plat meeting the requirements of the Conditions of Approval shall be submitted to Planning Department for final approval.
2. The development of the property is limited to the parameters established on the Master Plan and the Master Plan Document (regulating plan) as approved by the Town Council. Modifications to the approved Master Plan / Preliminary Subdivision Plan or Master Plan Document shall require review and approval in accordance with Section 155.705 of the Unified Development Code.
3. The Master Plan / Preliminary Subdivision Plan is considered a preliminary plat. Individual phases are subject to final plat review with the exception that Condo/Apartment/Townhome areas that will not be further subdivided, and Commercial phases, shall be reviewed as a Major Site Plan.
4. The developer shall reserve the portion of the site shown as a “potential school site” for 18 months from the date of the approval. If developed as a school, the development of the school site will be reviewed as a Major Site Plan.
5. Neighborhood parks and recreational amenities, including the clubhouse site, shall be reviewed as Minor Site Plans prior to construction.
6. The clubhouse and trail system around the pond shall be permitted and under construction prior to the issuance of a Certificate of Occupancy for the 251st residential unit.
7. A combination of dedication and fee-in-lieu may be utilized to meet recreation and open space requirements. To meet requirements, additional recreation area must be dedicated or a recreation fee-in-lieu shall be required at the established rate to supplement the dedicated land (land considered Resource Conservation Areas does not count toward meeting recreation and open space requirements).
8. Annexation of any land not currently within Town Limits shall be required prior to Final Plat approval for the first phase of the development.
9. Development fees shall be paid prior to Final Plat approval for each phase. For phases requiring Site Plan review, fees shall be paid prior to issuance of building permits.
10. All traffic improvements required by NCDOT and the Town shall be installed prior to the issuance of a certificate of occupancy for the phase (as shown on the overall phasing plan with the Master Plan Document/ Regulating Plan) that generates the need for the improvement. The necessary right-of-way for Covered Bridge Road (internal to the project), North O’Neil Street, and City Road shall be dedicated as a part of the first phase (as indicated in the Traffic Study Prepared by Davenport) of the development. The necessary right-of-way for Brookhill Drive and Covered Bridge Road (north of its intersection with North O’Neil Street) shall be dedicated as a part of the second phase (as indicated in the Traffic Study Prepared by Davenport) of the development.
11. All roof mounted and ground mechanical equipment not associated with single family detached residential development must be completely screened from view.
12. Five foot wide sidewalks or ten foot wide multi-use paths shall be installed along at least one side of all roadways within the development as identified in the Master Plan. Where sidewalks are on only one side of the road, the developer shall provide a minimum ten-foot wide paved greenway/multi-use trails

within the development on an equivalent basis based on cost. An Engineer's estimate which documents the cost allocations (in linear footage) between the deleted five foot concrete sidewalk and the proposed 10 foot asphalt multi-use path is required. Any cost shortage between the required five foot sidewalk and 10 foot multi-use path shall be paid as a fee-in-lieu.

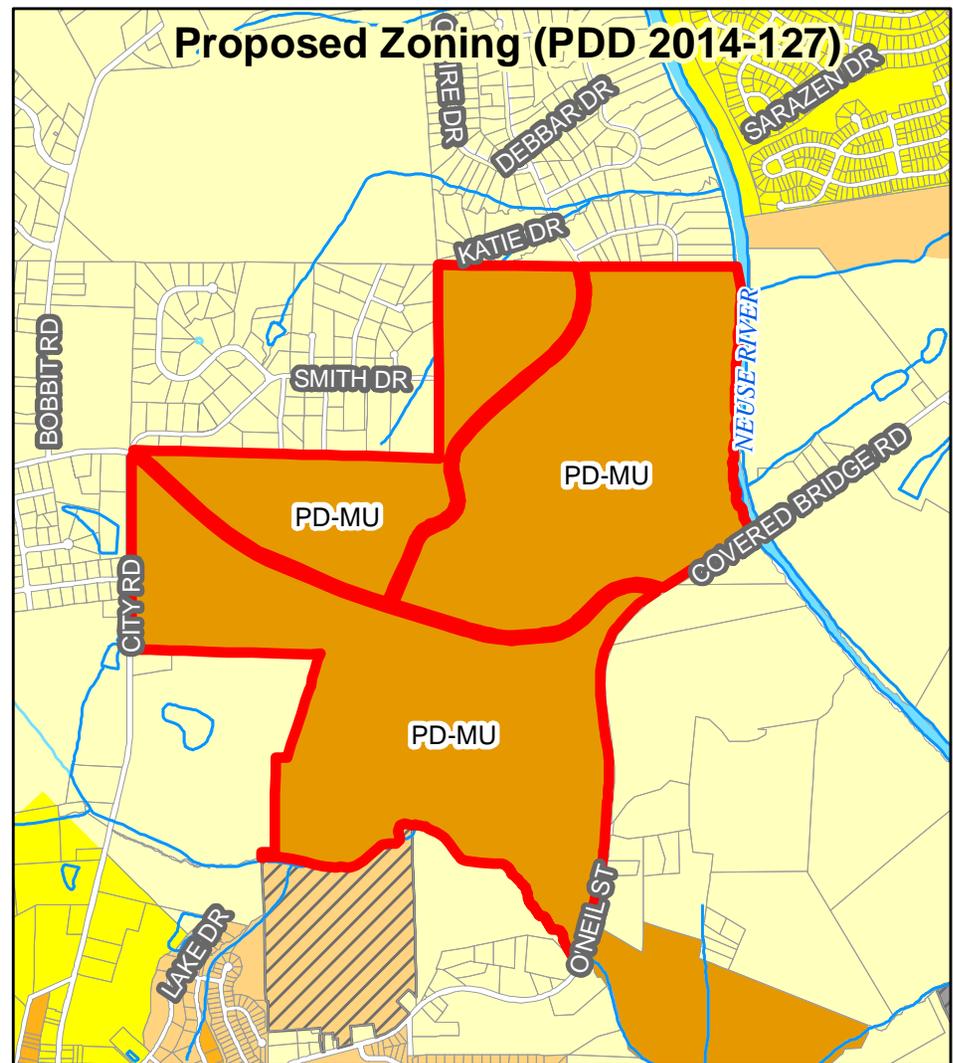
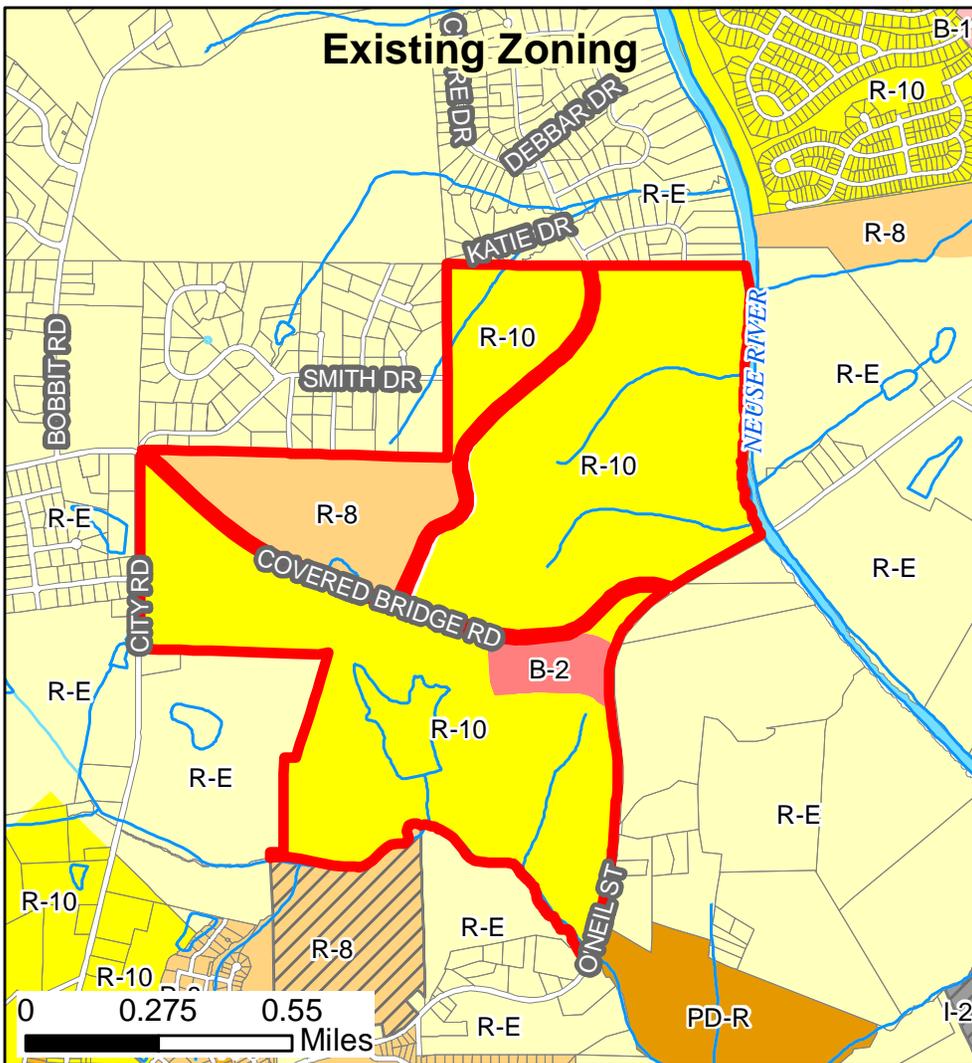
13. All sidewalks and greenways shall be bonded or constructed prior to plat recordation for the associated phase, with the exception that the sidewalk in front of residential units may be installed prior to the issuance of a Certificate of Occupancy of the unit.
14. Internal greenways shall be constructed or bonded prior to the first Certificate of Occupancy for the associated phase.
15. All greenways shall meet Town of Clayton standards with a minimum paved width of 10 feet.
16. The acreage of recreation and open space, and active recreation areas identified in the Master Plan shall be considered minimum requirements and may not be reduced without approval by the Town Council. The recreation areas shall be constructed concurrent with the construction of the associated phase and shall be installed or bonded prior to issuance of a certificate of occupancy for that phase.
17. Where a greenway is placed in the same location as a required buffer, that buffer width shall be expanded by a minimum of 15 feet to accommodate the trail and required plantings.
18. A 10' greenway shall be constructed along one side of Covered Bridge Road and North O'Neil Street for the entire project frontage concurrent with necessary roadway improvements. A greenway shall also be constructed along the project frontage adjacent to City Road concurrent with or prior to the construction of a phase which abuts City Road, and shall be installed or bonded prior to issuance of a Certificate of Occupancy for that phase.
19. All required vegetated buffers and plantings, including street trees, shall be installed concurrently with construction of the associated phase of the development and shall be completely installed or bonded prior to issuance of a certificate of occupancy for that phase.
20. A mix of housing types shall be required at the minimum percentages set by the Master Plan and shall be selected from the list of housing type options presented in the Master Plan Document (regulating plan). In no case shall the overall project density exceed 4 units per acre.
21. A mix of housing elevations (variations in architectural features), styles, and colors along each block is required to ensure visual interest and variety. Housing elevations shall be submitted along with each final plat review and shall be reviewed to ensure consistency with the architectural standards presented in the Master Plan and requirement this condition of approval.
22. Final location and configuration of Cluster Mailbox Units (CBUs) shall be determined in the final plat/site plan review (as applicable) for each phase. CBU's are required to have vehicular access/parking, as well as sidewalk /pedestrian access and must be approved by the Planning Department and the United States Postal Service.
23. No more than 75 certificates of occupancy may be issued within the subdivision until the required secondary access has been constructed or bonded for construction.

24. No more than 250 certificates of occupancy may be issued within the subdivision until the required third access has been constructed or bonded for construction.
25. Street tree species shall be approved by the Town Engineer and Town Planning Director as part of individual phase final plat / major site plan review.
26. A Master Sign Plan shall be required prior to installation or approval of any signage. All signs shall require review and approval pursuant to §155.713.
27. Final design of individual elements identified within the Regulating Plan (such as typical lighting, recreation, or architectural elevations) may be modified during individual phase review without need to modify the Regulating Plan, but shall be approved by staff and shall respect (or exceed) the intent and vision of the original approval/design shown in the Regulating Plan, including but not limited to quality, style, and materials. Modifications that are determined by the Planning Director not to meet or exceed the original intent or do not classify as “minor” modifications per the Unified Development Code shall require major review and approval.
28. The review and approval of project water, sewer, storm drainage and street construction drawings must be submitted to and approved by the Public Works Department.
29. Resource Conservation Areas as defined in Article 5 of the Unified Development Code shall remain undisturbed pursuant to standards of Article 5, and shall be shown on all plats as being permanently set aside pursuant to the UDC requirements.
30. Prior to site grading and construction activities, tree protection fencing shall be installed around all resource conservation areas. Once the tree protection fence is installed, it must be inspected by the Planning Department prior to construction activity.
31. A homeowners’ association (HOA) document shall be reviewed by staff and recorded prior to final plat of the first residential phase. The HOA document shall assure responsibility for maintenance of all common facilities and provide adequate means for funding to do so.

Planning Board Recommendation: No recommendation at this time. The item was postponed for decision at a future meeting.

Attachments:

1. Subdivision Findings of Fact
2. Zoning, Aerial, and Future Land Use Map
3. Application
4. Neighborhood Meeting Materials
5. Master Plan / Preliminary Subdivision Plan
6. Traffic Impact Analysis (TIA) executive summary (provided by applicant)
7. NCDOT TIA Analysis Recommendations
8. NCDOT TIA Analysis Recommendations followup letter
9. Wastewater Allocation request



SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
 Tag #: 05H02009
 File Number: PDD 2014-127 and PSD 2014-128

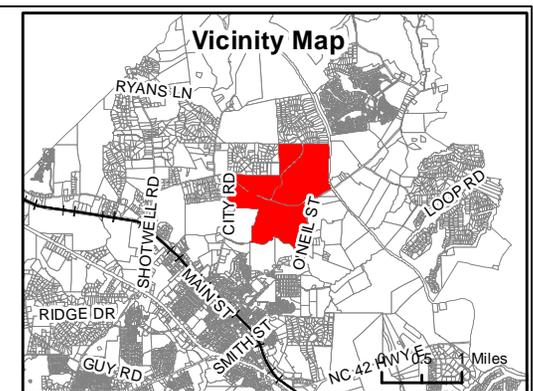
Produced by: TOC Planning

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.
 11/12/14



Legend

	SteepleChase_Site	ZONING		B-2
	Water Features			R-E
				R-10
				R-8
				R-6
				PD-R
				O-R
				B-1
				Special Use District





SteepleChase Planned Development Rezoning to Planned Development - Mixed Use and Master Plan / Preliminary Subdivision Plat approval

Applicant: Galaxy NC, LLC c/o Wakefield Development
 Property Owner: RAYMOND ELMORE EARP IRREV TRUST
 Size: 631 acres
 Parcel ID Number: 166900-38-4997
 Tag #: 05H02009
 File Number: PDD 2014-127 and PSD 2014-128

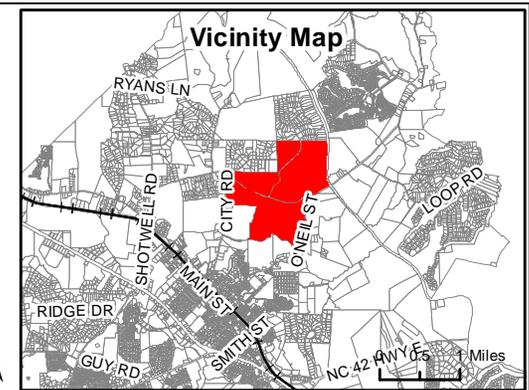
Produced by: TOC Planning

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 11/12/14



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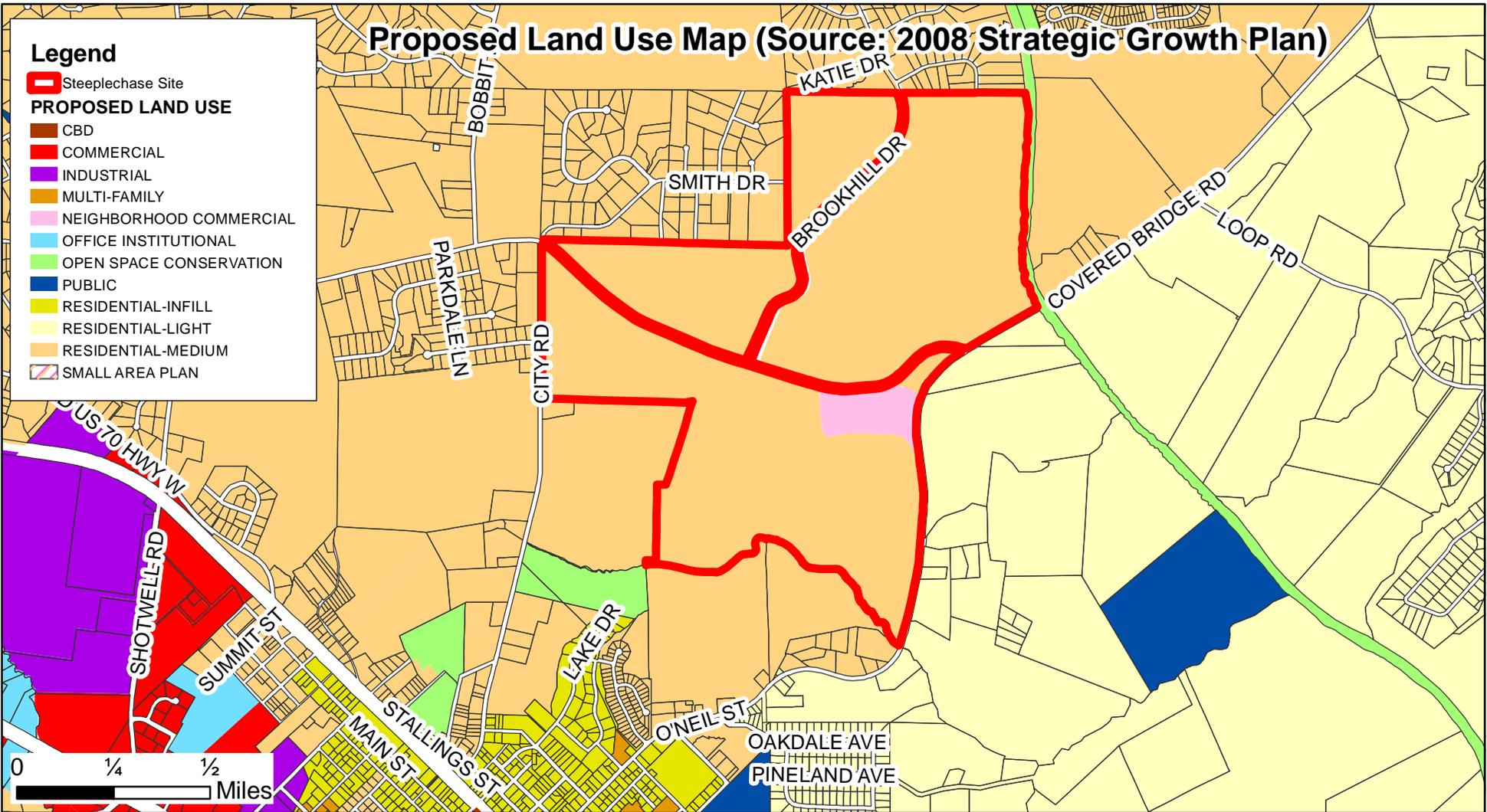
- SteepleChase_Site
- Water Features



Proposed Land Use Map (Source: 2008 Strategic Growth Plan)

Legend

-  Steeplechase Site
- PROPOSED LAND USE**
-  CBD
-  COMMERCIAL
-  INDUSTRIAL
-  MULTI-FAMILY
-  NEIGHBORHOOD COMMERCIAL
-  OFFICE INSTITUTIONAL
-  OPEN SPACE CONSERVATION
-  PUBLIC
-  RESIDENTIAL-INFILL
-  RESIDENTIAL-LIGHT
-  RESIDENTIAL-MEDIUM
-  SMALL AREA PLAN



Proposed Land Use Map (Source: 2008 Strategic Growth Plan) Steeplechase Planned Development Rezoning to PD-MU

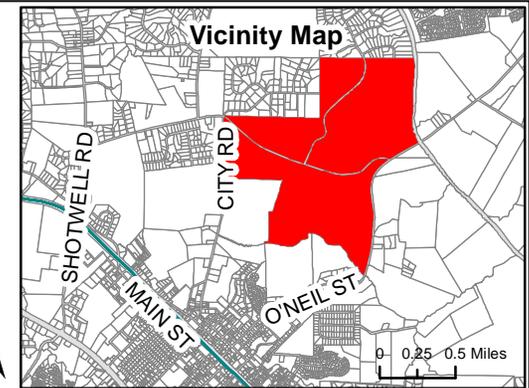
Applicant: Wake Development
 Property Owners: Earps
 Parcel ID Numbers:
 File Number: PDD 2014-127

Produced by: TOC Planning
 01/26/2015

Disclaimer: Town of Clayton assumes no legal responsibility for the information represented here.



Document Path: O:\PLANNING\SUBDIVISIONS\MAJOR SUBDIVISIONS\2014\PSD 2014-128 SteepleChase Planned Development - master plan, preliminary plat\Maps\Staff Presentation Map - PSD2014-128 - FLUM.mxd



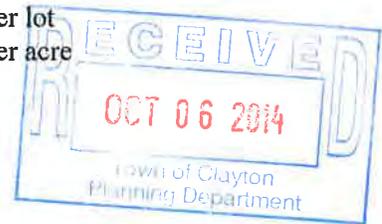


Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SUBDIVISION: MAJOR SUBDIVISION (Preliminary Subdivision Plat)

Pursuant to Article 7, §155.706 of the Unified Development Code (UDC), an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a subdivision of land. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application fees: Major Preliminary Subdivision Plat: \$400.00 + \$5.00 per lot
 Subdivision Master Plan: \$700.00 + \$5.00 per acre
 Modifications to approved plans:
Major Modification: \$400.00 + \$5.00 per lot modified
Minor Modification: \$200.00 + \$5.00 per lot modified



See §155.706(F) of the UDC for a definition of Major vs. Minor Subdivisions.
 See §155.203(F), (G), and (H) for information on Conventional vs. Open Space Subdivisions.
 See §155.706(N) for information on minor and major modifications.
 See UDC Article 6 for Subdivision Standards.

SITE INFORMATION

New Major Subdivision
Conventional: _____ *Open Space:* _____ Modification to Approved Preliminary Plat
Major: _____ *Minor:* _____
 New Subdivision Master Plan

Name of Project: Steeplechase Subdivision Acreage of Property: 631.06 AC (Assessed)

Tag #: 05H02009 NC PIN: 066900-38-4997

Location: 1162 Covered Bridge Road, Clayton, NC 27520

Number of Lots (existing): 1 (Proposed) 2500 Min Lot Size: Single family 4500 SF

Zoning District: R-8, R-10 with WPOD and Neighborhood business Electric Provider: Town of Clayton

Wastewater: Septic Well
 Sewer (check one) Water: Public/Private Water (check one)

Recreation/Open Space Requirement: Fee in lieu Land Dedication – Acreage: _____

FOR OFFICE USE ONLY

Date Received: 10/6/14 Amount Paid: _____ File Number: 2014-128

Fee not submitted w/ app.
 CEB

PROPERTY OWNER INFORMATION

Name: Nancy Crews Earp & Mary Earp Worley
Mailing Address: 7230 NC 42 East, Selma, NC 27576
Phone Number: 919-965-5793 & 919-915-1515 **Fax:** _____
Email Address: nancyearp@bellsouth.net & winkworley@gmail.com

APPLICANT INFORMATION

Applicant: Galaxy NC, LLC c/o Wakefield Development
Mailing Address: 3100 Smoketree Court, Suite 210, Raleigh NC 27604
Phone Number: (919) 556-4310 **Fax:** (919) 556-0690
Contact Person: Kem Ard
Email Address: kem@wakedev.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany the application:

10/6/14 EB

To be completed by the applicant:	To be completed by staff:				
	Yes	N/A	Yes	No	N/A
<i>Submit 9 copies of all materials unless otherwise directed by staff</i>					
1. A pre-application meeting was held with Town Staff. Date: <u>9/30/14</u>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
2. Completed Application	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Review Fee	<input type="checkbox"/>			<input checked="" type="checkbox"/>	
4. Findings of Fact, signed <i>Not required for minor modifications. Form is included in this packet.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
5. Owner's Consent Form <i>Required if applicant is not the property owner. Included in this packet</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
6. Preliminary Plat Subdivision Requirements Checklist form, completed and signed <i>Checklist is included in this packet</i>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
7. Plat sheet(s) meeting requirements of the Requirements Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
8. If subdivision waivers are requested, applicant must attach a separate typed document requesting the waivers. The document must specifically list the waivers requested, including Code references, and must address the 4 considerations outlined in §155.706(l)(7).	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
9. Adjacent Property Owners List	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
10. Road Name Application <i>Included in this packet</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
11. Wastewater allocation request OR verification of wastewater allocation <i>Letter format, to the attention of the Town Manager.</i>	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	

At Final Plats

12. A signed and sealed Traffic Impact Analysis (if required)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Neighborhood Meeting Notice Letter <i>See sample letter and meeting requirement, included in this packet. NOT REQUIRED FOR MINOR MODIFICATIONS.</i>	<input type="checkbox"/>	<input type="checkbox"/>	May be provided at time of submittal if meeting date is known – otherwise must be submitted by email or mail on date the letter is mailed out.
14. Neighborhood Meeting summary form <i>Included in this packet – NOT submitted with application. NOT REQUIRED FOR MINOR MODIFICATIONS</i>		<input type="checkbox"/>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.
 The request is to master plan 631.06 acres at 1162 Covered Bridge Road. The development will include a mix of single family, townhomes, apartments, condominiums and commercial uses with a proposed density of 3.96 dwelling units to the acre which is a maximum of 2,500 dwelling units. The club and amenity areas will be focused around the existing R. E. Earp pond and will form the core of the development. Development will begin south of covered bridge road and will move north of covered bridge in the future. A neighborhood commercial development will be located at the intersection of Covered Bridge Road and O'Neil Street.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Planning Board of the Town of Clayton to approve the subject Subdivision. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Kem Ard
 Print Name

[Signature]
 Signature of Applicant

10-2-14
 Date

FINDINGS OF FACT

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.
The plan submitted for review is compliant with the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code. The required completed checklist applications were provided at the time of the submittal and the plan was reviewed by the Town of Clayton's Technical Review Committee. The TRC then provided the developer comments to ensure compliance of the plan with all standards. The developer's consultant then revised the plans and resubmitted them for review by the TRC again for another compliance review. To the best of our knowledge the developer's consultant believes the plans are complete.
- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.
The overall proposed density of the development is 3.96 acres and the land use plan in the Strategic Growth Plan calls for a maximum of 8 units per acres. In order to guarantee the orderly and unified development of the site the developer opted to seek approval of a Master Planned Subdivision. This subdivision intends to promote the development of the surrounding properties in the same orderly fashion by connecting proposed points of access to existing adjacent street stubs and by providing street stubs to undeveloped tracts for future connections. The same is true for both public water and sewer as well.
- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.
As a condition of the approval the developer will be required to improve City Road, Covered Bridge Road and O'Neil Street as per the recommendations of the Traffic Impact Analysis. The proposed road improvements adjacent to the site will ensure that there will be no adverse traffic impacts to the surrounding areas. Internally there will be a residential collector road that loops through the site collecting all the traffic from the residential streets and funneling the drivers toward the improved road system adjacent to the project. The developer will also be required to extend public water and sewer to the adjacent undeveloped parcels for their use if and when the parcel is developed.
- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.
In order to guarantee the orderly and unified development of the site the developer opted to seek approval of a Master Planned Subdivision. The overall proposed density of the development is 3.96 acres and the land use plan in the Strategic Growth Plan calls for a maximum of 8 units per acres. The plan is compliant with all relevant portions of the Strategic Growth Plan and meets all required specifications of the Town of Clayton Subdivision ordinance and conforms to the Unified Development Code.

Project Name: Steeplechase Subdivision

Kem Ard
Print Name

[Signature]
Signature of Applicant

10-2-14
Date

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02009	EARP, RAYMOND ELMORE JR, MOORE, MARY	7230 NC 42 EAST, SELMA, NC 27576-0000
16I03028	HOUSE, MAVIS C	2873 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05H01010A	TYNDALL, CHARLES B JR TYNDALL, JUNE MARIE	101 MICHAEL WAY, CLAYTON, NC 27520-0000
05E99022W	CAPPS, BILLY WADE	1119 N ONEIL STREET EXT, CLAYTON, NC 27520-6240
05H01010Z	MURRAY, RICHARD H & MURRAY, JOELY A	115 KATIE DRIVE , CLAYTON, NC 27520-0000
05H02013B	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-2155
05H01010I	OBRIEN, ANGELLA J OBRIEN, DAVID MICHAEL	8307 CAZAVINI CT, RALEIGH, NC 27613-4467
05E99190D	FISCHER, DANIELLE FISCHER, PAUL	2008 WILLIAM LANE CLAYTON, NC 27520-0000
05E99190G	LLOYD, CAROLYN C	2212 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026W	POPE FAMILY TRUST POPE, JIM TRUSTEE	2020 SMITH DR, CLAYTON, NC 27520-9029
05E99190R	SCHULTZE, HENRY NEAL SCHULTZE, JUDY	2005 DONNA COURT , CLAYTON, NC 27520-0000
05E99199H	ROBINSON, PAUL W ROBINSON, VIRGINIE E	2304 SMITH DRIVE, CLAYTON, NC 27520-0000
05E99026T	NOWAKOWSKI, GREGORY A NOWAKOWSKI, WENDY D	2012 MISSY LANE, CLAYTON, NC 27520-9033
05E99026Y	HILL, MICHAEL WAYNE	2013 MISSY LANE, CLAYTON, NC 27520-0000
05E99025U	POPE, BILLY R POPE, BOBBIE	2008 SMITH DR, CLAYTON, NC 27520-9029
05H02011A	JONES, DEANNA LYNNE	1500 N O'NEIL ST EXT, CLAYTON, NC 27520-0000
05H02013A	MASSEY, JOHN WESLEY	8041 ST ANDREWS DR, LAURINBURG, NC 28352-0000
05H02010A	SMITH, JAMES D JEAN K SMITH TRUST	1814 N ONEIL STREET EXT, CLAYTON, NC 27520-6236
05H02025	PEEDIN, EDNA S	2721 US 70 EAST, SELMA, NC 27576-8174
05H02015A	JOHNSTON LAND GROUP LLC CEBCO CONSTRUCTION INC	PO BOX 591, MAMERS, NC 27552-0000

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H01010V	HASKINS, WESLEY L HASKINS, ERIN L	1009 BROOKHILL DRIVE, CLAYTON, NC 27520-0000
05H01010Y	HUTCHINS, JOSHUA P HUTCHINS, PATRICIA	111 KATIE DR, CLAYTON, NC 27520-0000
05E99025J	COON, STEVEN M COON, ERIN M	2009 DONNA COURT, CLAYTON, NC 27520-0000
05E99025V	CREASY, JEFFREY L CREASY, SHARON	2001 SMITH DR, CLAYTON, NC 27520-0000
05E99190P	COATS, JEFFREY LAWRENCE	2008 DONNA CT, CLAYTON, NC 27520-0000
05E99023K	TURNAGE, PHYLLIS YOW	2009 WILLIAM LANE, CLAYTON, NC 27520-0000
05H01010C	POPE, ALAN K POPE, DAWN N	114 MICHAEL WAY, CLAYTON, NC 27520-0000
05H02002	LEE BROTHERS RENTAL	400 W MAIN STREET, CLAYTON, NC 27520-0000
05H01010W	MOORE, AMY J CARAWAN, CLIFFORD C	101 KATIE DR, CLAYTON, NC 27520-0000
05H01010B	WETMORE, MARK L WETMORE, TAMELA LYNN	104 MICHAEL WAY, CLAYTON, NC 27520-0000
05H01010X	WHITMAN, BRIAN HAROLD WHITMAN, GINA MUNDEN	105 KATIE DR, CLAYTON, NC 27520-5509
05H01010	FARMER, MARY ANN	100 MICHAEL WAY, CLAYTON, NC 27520-5507
05H01010D	FILLHART, ALAN THEODORE FILLHART, JEAN M	118 MICHAEL WAY , CLAYTON, NC 27520-5507
05H01010H	ALFORD, KENNETH W ALFORD, ANNETTE R	150 MICHAEL WAY , CLAYTON, NC 27520-5507
05H02017	BLACKLEY, DOUGLAS E BLACKLEY, LINDA F	1057 CITY RD, CLAYTON, NC 27520-5907
05G02070J	CARLI, RICHARD J CARLI, LOIS M	22 CEDARDALE LANE, CLAYTON, NC 27520-0000
05G02007A	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007E	PILKINGTON, DAVID DANIEL JR	1331 CITY RD, CLAYTON, NC 27520-5908
05G02007G	PILKINGTON, DAVID D JR	1331 CITY ROAD, CLAYTON, NC 27520-5908
05G02007Z	MUNDAY, KIMBERLY A	27 CEDARDALE CT, CLAYTON, NC 27520-5541

ADJACENT PROPERTY OWNERS LIST

Project Name: Steeplechase Subdivision

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05H02017B	MIMS, ALLEN LESTER JR	920 CITY ROAD, CLAYTON, NC 27520-0000
05E99021R	TOWN OF CLAYTON	PO BOX 777, CLAYTON, NC 27528-0777
16I03028C	SORRELL, DAVID M SORRELL, SABRINA	2641 COVERED BRIDGE RD, CLAYTON, NC 27527-0000
05E99190I	WHITLEY, WILLARD H WHITLEY, BETTY J	2000 KEVIN CT, CLAYTON, NC 27520-0000
05H02017H	MIMS, ALLEN L JR MIMS, EMILY LEE	920 CITY RD, CLAYTON, NC 27520-0000
05H02009A	EARP, RAYMOND E JR MOORE, RICHARD EARP	7020 EAST NC 42 HWY, SELMA, NC 27576-0000
05H02011	JONES, TRACY L JONES, DEANNA L	1504 N ONEIL ST EXT, CLAYTON, NC 27520
05H02011B	JONES, TRACY L	1538 NORTH ONEIL STREET EXT, CLAYTON, NC 27520-0000
05H02015D	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000
05H02199Y	MCINTYRE, MARTHA ANN	1233 MT CARMEL CHURCH RD, TROY, NC 27371-0220
05E99025Y	POURRON, CHARLES WAYNE	3654A COVERED BRIDGE RD, CLAYTON, NC 27527
16I03029	TOWN OF CLAYTON	P O BOX 879, CLAYTON, NC 27528-0000

MAJOR SUBDIVISION – PRELIMINARY PLAT REQUIREMENTS CHECKLIST

The applicant is responsible for completing this checklist. Please sign and submit with the completed application.
 Note: Master Subdivision Plans will require fewer details than preliminary subdivision plats. Please speak with Planning staff to confirm plan requirements.

To be completed by the applicant:			Staff:
	Yes	N/A	
GENERAL (ALL SHEETS):			
1. Plans are a maximum of 24" x 36", folded to an 8.5" x 11" format, with a scale no smaller than 1 inch = 100 ⁴⁰⁰ feet (scale of 1" = 20' to 60' preferred).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Separate sheets for each : Subdivision Plan, Preliminary Engineering Plan, Existing Conditions. Information in this checklist should be placed on the appropriate sheet. (Additional sheets may be required depending on scope of the project).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. Multiple sheets are consecutively numbered (e.g. Sheet 1 of 4).	<input checked="" type="checkbox"/>		
4. Engineer/Surveyor Logo Box (name, address, phone number, fax, and e-mail, if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
5. Name of subdivision (including phase numbers if applicable) and plan type (Subdivision, Final Plat, Exempt Plat, or Recombination).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Revision Date	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
PRELIMINARY PLAN SHEET:			
7. Name of township, county, and state in which the property is located.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. Vicinity sketch/map.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Surveyor or professional engineer's name and seal.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Date of survey and plat preparation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Provide the following project data in <u>Tabular</u> form:			
- Area of tract in square feet and acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Parcel Identification # (and/or Tag #)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Owner's name and address	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Within Town limits or ETJ	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Zoning of property	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Overlay District (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Total Number of Lots	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Number of lots per acre (density)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Acreage in Resource Conservation Areas (UDC §155.500)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Indicate if the site is within a Watershed Protection Overlay	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Annexation # (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- FEMA designated flood plain and floodway (include FIRM panel reference number and effective date) or certification that no flood plain exists within the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
<ul style="list-style-type: none"> - Electric Provider - Water Provider (or indicate if well) - Sewer Provider (or indicate if septic) - Impervious (existing and proposed, square feet and %) 	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
12. An accurately positioned north arrow indicating true north, magnetic north, North Carolina grid ("NAD 83" or "NAD 27"), or is referenced to old deed or plat bearings. If the north index is magnetic or referenced to an old deed or plat bearings, the date and the source (if known) the index was originally determined is clearly indicated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. The exact course and distance of every boundary line of the tract to be subdivided, fully dimensioned (metes and bounds) along with the location of intersecting boundary lines of adjoining lands in accordance with the North Carolina General Statutes § 47-30 – Plats and subdivisions; mapping requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Accurate location and description of all monuments, markers and control points.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
15. Show the 100 year flood plain, riparian buffer, wetlands, and any Resource Conservation Areas on all sheets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Blocks numbered consecutively throughout entire subdivision with lots numbered consecutively in each block. Lot numbers shall be placed in a circle or labeled "Lot ___".	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Phase lines. Phases are clearly labeled.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
18. The name and location of all adjoining subdivisions and adjoining lot property lines drawn with dotted lines at the same scale. Include the names of adjacent landowners.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
19. Location and width of all existing and proposed rights-of-way, Resource Conservation Areas, easements and areas dedicated to public use with the purpose of each stated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
20. Location of safe sight triangles at project ingress/egress points, or as required.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
21. Minimum building setbacks /envelope are noted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
22. All dimensional standards are shown in table format. Dimensional standards shall include: min. lot size, min. lot width, max building coverage, max impervious surface (entire subdivision), max impervious surface (per lot, in %), density, max height, and min dwelling unit size.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
23. Location of all existing and proposed easements, labeled as "public" or "private."	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
24. Proposed streets are labeled, named and dimensioned. Street names must be approved by Town of Clayton. Correct street cross section detail provided. Label street type based on definitions in §155.602(D). If streets are private:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<ul style="list-style-type: none"> - All private streets shall be maintained by a designated responsible party. The party shall be noted on the plat. - Streets are labeled "Private Streets – No Town Maintenance." 	<input type="checkbox"/> <input type="checkbox"/>	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
25. Lengths of all cul-de-sacs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
26. Identify proposed traffic control signs and striping.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
27. Location, purpose and dimensions of non-residential areas (such as parks, playgrounds, open space, churches, school sites, etc.) - All open space, parks, and similar common areas shall be maintained by a designated responsible party. The party shall be noted on the plat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
28. Width and type of any buffers and easements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
29. Indicate the boundaries of any utility or greenway easements dedicated to the Town of Clayton and label "To Be Dedicated to the Town of Clayton."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
30. Resource Conservation Areas must be shown and dimensioned on the plat. The following note must also be provided:			
31. "The Resource Conservation Area shown hereon is being provided per the requirements of Article 5 of the Town of Clayton's Unified Development Code. This Resource Conservation Area must be preserved in perpetuity."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
32. Proposed stormwater retention/detention features and dimensions. If fenced, include fence location.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
33. Existing and proposed sidewalk system, access ramps, and crosswalks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
34. Identify alternative modes of transportation including school stops, pedestrian connections, bicycle paths and associated racks.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
35. Show how streets are projected to property lines to provide for cross-connectivity and development on adjacent parcels. Show cross-access easements.	<input type="checkbox"/>	<input type="checkbox"/>	
36. Provide a plant list summary table which includes: - A planting key identifying the various planting elements - The quantity of each type of plant material proposed - The size, height, caliper and spacing of plant material proposed - The Botanical and common names of plant material proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
37. If common landscaped areas area provided, provide an irrigation note to read as follows: "All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material, such system shall include a rain sensor." (If irrigation will not be utilized, drought-tolerant species must be used).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
38. Location, species, and caliper of any existing trees that will remain on site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
39. Location of clustered mailboxes.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
40. Location and orientation of freestanding signs (signage is permitted separately).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
EXISTING CONDITIONS SHEET:			
41. On the existing conditions sheet, provide topography with two-foot contour intervals, showing the location of any natural features such as water courses, wooded areas, steep slopes (above 25%), or other geological features.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

To be completed by the applicant:			Staff:
	Yes	N/A	
42. Location of all existing buildings and structures, water/sewer/gas infrastructure, underground structures, easements, or other existing features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
43. Existing structures, existing streets and roadway improvements, and existing utilities within 100 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
PRELIMINARY ENGINEERING PLAN SHEET:			
44. Show subdivision layout, streets, and all pertinent information from subdivision plat sheet.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
45. Identify curb radii for all internal and external vehicular use areas.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
46. Location of all existing and proposed utilities (water, sewer, electric, natural gas, etc.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
47. Location of all existing and proposed drainage structures.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
48. Location of all existing and proposed fire hydrants.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
49. Location of all existing and proposed easements, labeled as "public" or "private."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
50. Show street cross-sections.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
51. Indicate method of slope stabilization measures for all slopes steeper than 2.5:1.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
52. Identify the proposed storm water management system with location of inlets, piping and positive outfall along with typical section and top surface area of storm water retention/detention pond, including soil types, slope, bottom and top elevations, and finish floor elevations.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
OTHER			
53. If subdivision includes townhomes, include architectural elevations sheet, noting construction materials, finishes and colors, height, and number of stories.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
54. Any other information considered by either the applicant or the Town to be pertinent to the review. PD - HP DOCUMENT	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Signed by Applicant:  Date: 10-06-'14
for Ken Thompson, PLA



**Town of Clayton
Planning Department**

111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STEF PURCHASE Address or PIN #: 066900-38-4997

AGENT/APPLICANT INFORMATION:

Kem Arn
(Name - type, print clearly)

3100 SMOKETREE CT
(Address)
RALEIGH NC 27604
(City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

ROWING - PLAN DEVELOPMENT
& Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Mary Earp Worley
(Name - type, print clearly)
Mary Earp Worley
(Owner's Signature)

7020 NC 42 East
(Address)
Selma, NC 27576
(City, State, Zip)

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of October, 2014.

SEAL



Francis T. Quinn
Notary Public

My Commission Expires: MAY 5, 2016



Town of Clayton
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: STEEPLECHASE **Address or PIN #:** 066900-30-4997

AGENT/APPLICANT INFORMATION:

Kem Ard
 (Name - type, print clearly)

3100 SMOKE TREE CT
 (Address)
Raleigh NC 27604
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

REZONING - PLAN DEVELOPMENT
+ Master Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Nancy C Karp
 (Name - type, print clearly)

7230 NC 42 E
 (Address)

Nancy C Karp
 (Owner's Signature)

Selma, NC 27576
 (City, State, Zip)

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before me Francis T. Quinn, a Notary Public for the above State and County, this the 4 day of OCTOBER, 2014.

SEAL



Francis T. Quinn
 Notary Public

My Commission Expires: MAY 5, 2016

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Martha McDuttyre 1233	mt Carmel Ch. Rd, Troy, NC 27576
2	Katherine Libos, 1577	Business Town Rd, Robbins, NC 27325
3	Daniel Smith 509	Starling St, Clayton, NC 27520
4	Joy Hill 2013	Missig Lane Clayton, NC 27520
5	Marlene Markley	116 Debban Dr. Clayton 27520
6	Brian Markley	604 Charleston Pr. Clayton 27520
7	DAVID SAMMONS	147 MICHAEL WAY CLAYTON 27520
8	RICHARD CARLI	22 CEDARDALE CT CLAYTON 27520
9	LOIS CARLI	" " " "
10	JERRY BARNES	104 CEDARDALE CT 27520
11	Doug Blackley	1057 city Rd Clayton NC 27520
12	Kimberly Jones	113 Claire Dr. Clayton NC 27520
13	Jim Mann	142 Claire Ave. Clayton, NC 27520
14	Cliff Morgan	146 Claire P. Clayton, NC 27520
15	Kathy Leibel	672 Christophu Dr Clayton NC 27520
16	Karen Spicer	1163 Brookhill Dr Clayton 27520
17	THOMAS MALFACS	2201 DOWN CT, CLAYTON NC 27520
18	Robbie Pope	2008 Smith Dr. Clayton NC 27520
19	James O. Smith	1814 O'Neil Street Clayton
20	George & Betty Ross	1305 Brookhill Drive 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Scott Winslow	150 Claire Dr. Clayton NC 27520
2	Jack & Pat Bachelor	120 Christophe Dr. Clayton
3	John & R. House	2975 Covered Bridge Rd, Clayton
4	Wendy & Nicholas Nowakowski	2012 Missy Ln Clayton NC 27520
5	Mavis House	2873 Covered Bridge Rd. Clayton 27527
6	Chrysdell	101 Michael Way
7	Jane Tyndall	101 Michael Way Clayton
8	Bul Robinson	2304 Smith Dr Clayton
9	C.L. DUKE MCNICHD	
10	Adam Netko	508 Christopher Dr., Clayton
11	Mark Altman	115 Debar Drive Clayton <small>Ole Mill Stream</small>
12	William Whittier	2000 Kevin Ct Clayton, N.C.
13	Susan & Billy Kapps	1119 N Oneil St
14	Jerry Dawson	357 Christopher Dr Clayton
15	Danielle Fischer	2008 William Ln, Clayton
16	Linda Bowman	2000 Donna Ct, Clayton
17	Mark A. Peedin	154 Peedin Ext Selma 27576
18	Amy Moore Cliff Carawan	101 Katie Drive
19	Allen Mims	920 City Rd. Clayton
20	Tom & Marthann Witzig	104 Christopher Dr. Clayton 27520

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Applicant: STEEPLECHASE

Location/Date: CLAYTON CENTER 10/27/14

	NAME	ADDRESS
1	Wesley + Erin Haskins	1009 Brookhill Drive Clayton, NC 27520
2	John Clarke	1415 Brook Hill Drive
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NEIGHBORHOOD MEETING SUMMARY FORM



FILL OUT THE FOLLOWING:

Date of Mailing: the mailing was completed on Friday October 17, 2014.

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached):

Printed Name: Kenneth D. Thompson

Signature: KA

Date of Meeting: October ²⁷ 17, 2014

Time of Meeting: 7 PM

Location of Meeting: The Clayton Center

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any changes made by the applicant as a result of the meeting.

Meeting began a little after 7 PM. Ken Thompson presented the project to the audience and allowed questions to be asked during the presentation. The major concern issue was traffic related. the neighbors to the north of the project in Smith Ridge and Old Mill Stream we opposed to the extension of the existing road stubs in their neighborhoods. Mr. Thompson explained that inter connectivity was good planning practice and required by the town and EMS. The issue regarding traffic was discussed at length and Mr. Ard, the developer, explained that a traffic impact analysis (TIA) was being completed and that he was obligated to make the improvements recommended by the the TIA and NCDOT. It was stated these road improvements could be but not limited to road widening, deceleration lanes, turn lanes, traffic lights, etc. and the timing would be dependent upon the development thresholds noted in the TIA. the neighbors were happy to hear that covered bridge would be realigned at the east and west limits of the property. Everyone was also happy to hear that the pond would be preserved. the forma presentation ended around 8:15 and Mr. Thompson and Mr. Ard remained until 9 PM answering individual questions.

Please write clearly (or submit a typed summary), and use additional sheets if necessary.



510 Glenwood Avenue, Suite 201 | Raleigh, NC 27603 | tel 919-835-1500 | fax 919-835-1510

Friday October 17, 2014

Dear Clayton Area Property Owner: The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a neighborhood meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: Monday October 27th

Location: The Poole Room at the Clayton Center @ 111 E 2nd Street, Clayton NC 27520

Time: 7:00 PM

Type of Application: Planned Development Rezoning and Preliminary Subdivision Master Plan

General Description: Steeplechase is Planned Development of 631 acres located at 1162 Covered Bridge Road near the intersection of Covered Bridge Road and Brookhill Drive. The request, if approved, will allow up to 2500 residential units which will be a mix of single family homes, townhomes, apartments and condominiums. A commercial element is being proposed at the intersection of Covered Bridge Road and O'Neil Street.

If you have any questions prior to or after this meeting, you may contact us at 919-835-1500 x 242

Sincerely,

Kenneth D. Thompson, RLA, LEED AP, NCLID
Senior Associate / Landscape Architect

cc: Clayton Planning Dept.



STEEPLECHASE Planned Development / Master Plan Document



Prepared for Town of Clayton
February 23, 2015

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Neighborhood Form - Land Use Summary

The plan for Steeplechase promotes a neighborhood form established by a relaxed grid defined largely by the existing R. E. Earp Pond and the existing road network. This pattern establishes a hierarchy of neighborhood streets and sidewalks which support a pedestrian friendly environment adapted to the land form. The heart of this street network is the proposed amenity area on the north shore of the R. E. Earp pond and the pond itself which serves as the focal point of activity. More than two thirds of the development will be within a 10 minute walk of this amenity. Other interconnected collector streets, local streets and alleys complete the relaxed grid of walkable blocks which connect the residences, parks and open spaces.

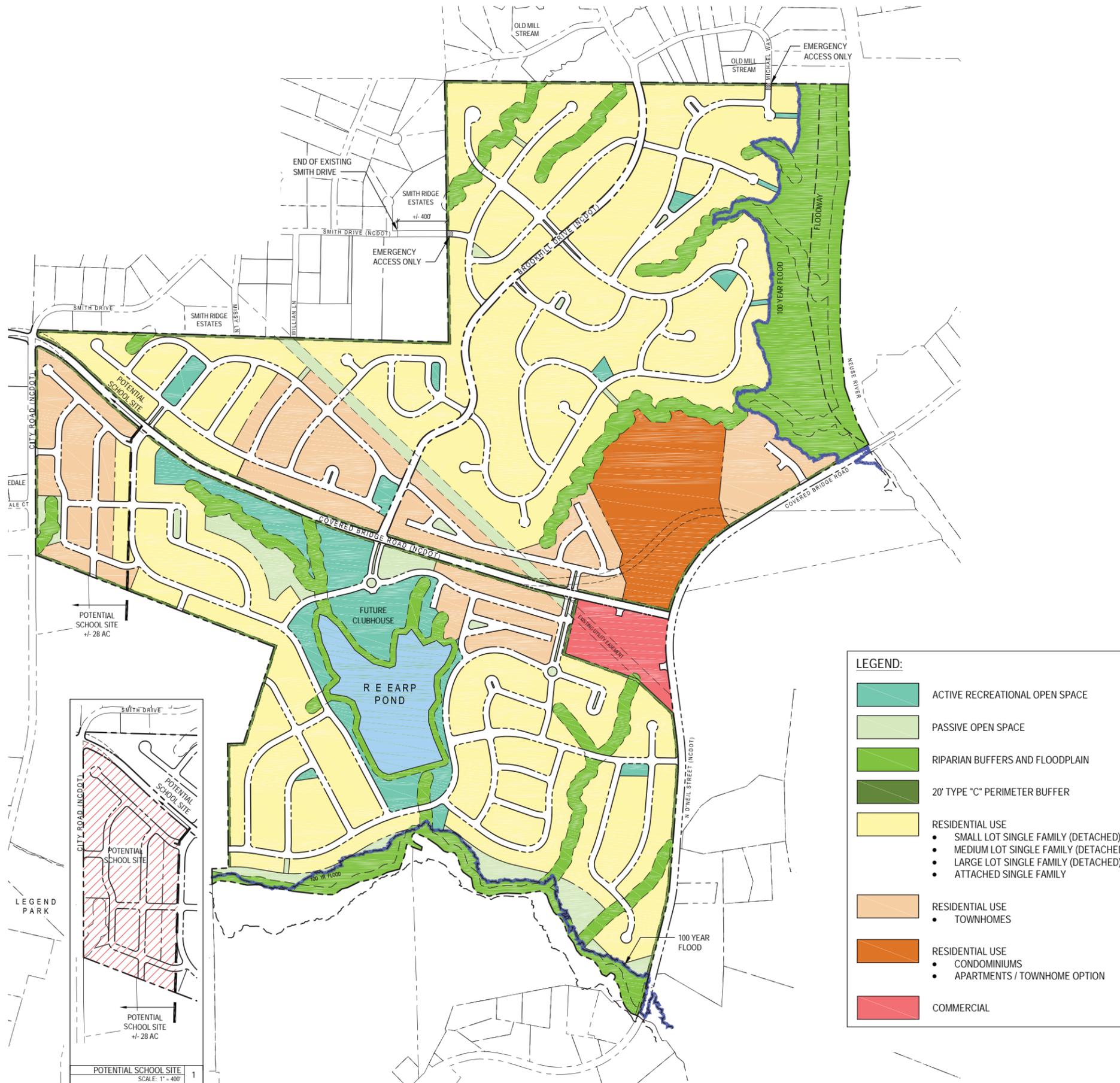
The development will provide a mixture of residential types such as detached single family, attached housing and multi-family as well as a neighborhood retail area. Prominent sites are planned for resident uses, parks, and open spaces. The design guidelines are written in a manner that will promote strong pedestrian corridors that are reinforcing a "sense of place". Front porches, street trees sidewalks, street furniture in public spaces, and pedestrian crossings combine to form a "pedestrian zone" that promotes internal pedestrian activity.

LAND USE ALLOCATIONS

Steeplechase is planned to include a mix of residential, neighborhood retail, community uses, parks and open space on 631.06 acres. The land use density for this project is not to exceed 2,200 residential units or 3.48 DU/AC based on gross acreage. The table below illustrates the allocation of each land use.

USE	ACRES	% LAND AREA
RCA's (Riparian Buffers, Flood Plain, Pond)	+/- 111.19	+/- 17.62%
Recreation Open Space	+/- 65.08	+/- 10.31%
Residential uses	+/- 444.88	+/- 70.50%
Neighborhood retail	+/- 9.91	+/- 1.57%
Total	631.06	100%

<u>SINGLE FAMILY RESIDENTIAL MINIMUM %</u>	<u>LOT WIDTH</u>	<u>MINIMUM SF</u>	<u>% MINIMUM OF UNITS</u>
Small Lot Single Family	40' and 50'	4500	10%
Medium Lot Single Family	50' and 60'	5000	10%
Large Lot Single Family	60' and greater	6000	10%
Townhome	16'	1000	10%
Condo	N/A	N/A	0%
Apartments	N/A	N/A	0%
Commercial	50	6000	N/A



Public Realm - Vehicular and Pedestrian Plan

The public realm is the zone defined by the streetscape and the buildings or open spaces that define the edges. This zone will be an important element of the development and is the primary space for pedestrians interacting with neighbors. Architecture, landscape material, walks and sidewalks all combine to create a unique experience differentiating one street from another. Differentiation in this manner is synonymous with place making.

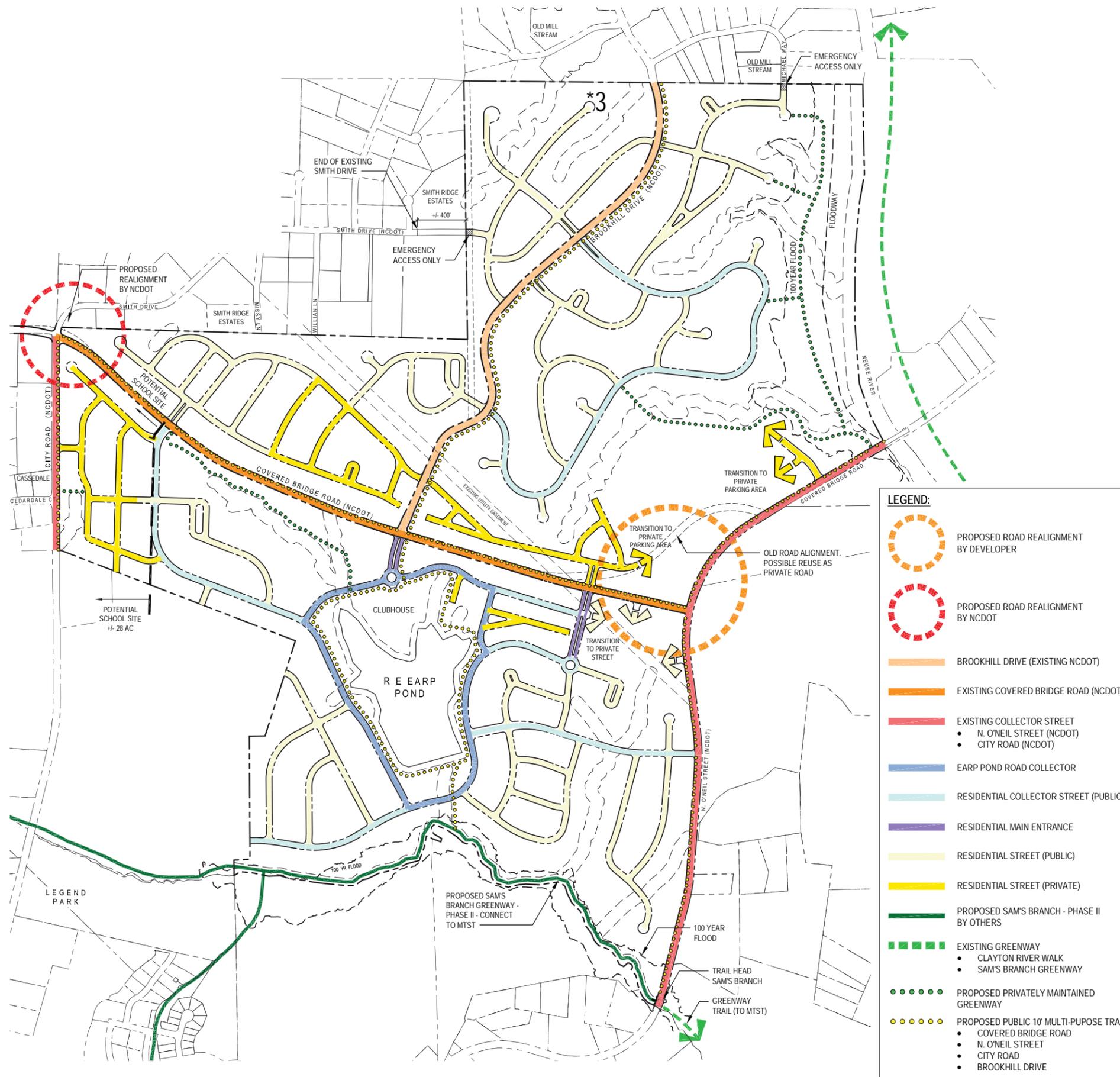
STREETS

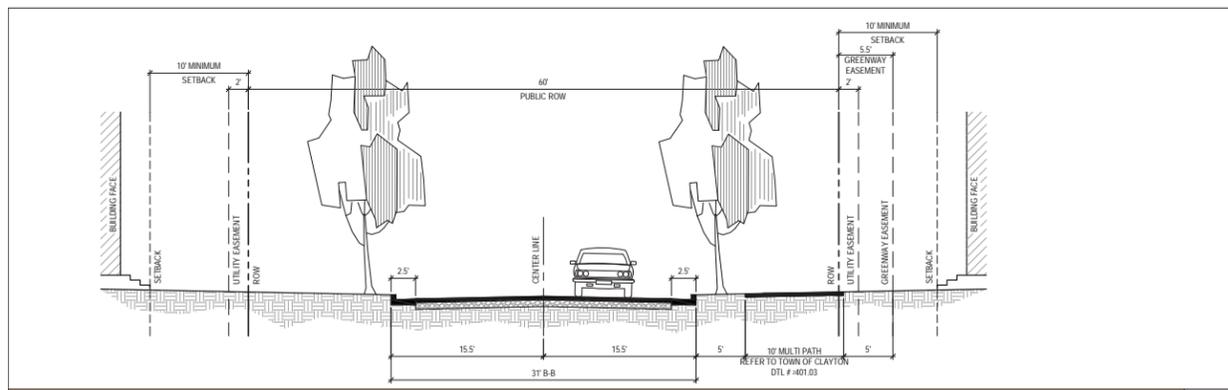
The streets proposed for Steeplechase are designed to provide the necessary emergency and service vehicle access while creating a safe pedestrian friendly neighborhood environment. The pattern of interconnected streets provides a hierarchy of interconnected streets provides options enabling traffic to disperse throughout the community. Traffic calming is achieved through block design, street section widths and streetscape design. All Town of Clayton standards and the proposed alternate street sections are designed to provide for street tree plantings and public utilities in a manner that avoids conflict. Alternate street section waiver requests are provided on the plans accompanying this submittal (see page 3). In all street sections, standard curb and gutter can be interchanged with Town of Clayton standard valley curb and gutter or rolled curb and gutter.

SIDEWALKS AND STREET YARDS

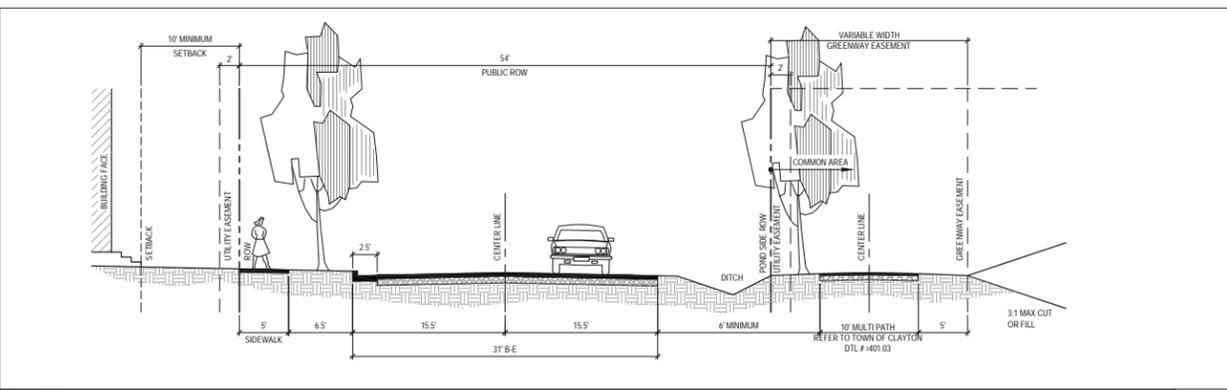
Steeplechase will provide public sidewalk on at least one side of the street throughout the development to promote a pedestrian friendly environment. The "Pedestrian Zone" is comprised of tree planter strips, sidewalks and pedestrian courts. It extends from the back of curb to the outer edge of the sidewalk or open space. Steeplechase is proposing planter strips throughout the development on residential streets. Building setbacks and the street yard between building facades and the back of curb vary among building types as noted in this document.

The internal street system as depicted is conceptual only to show general design and connectivity, and that actual alignment may change during final plat design. The exception is modification of connection points to external roadway networks and major entrances to the development, which constitute a major modification and must be approved by the Town Council.

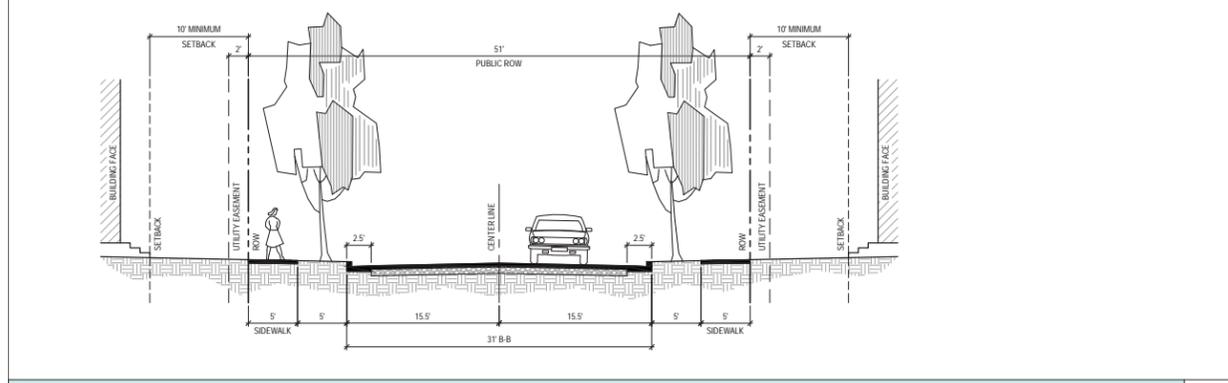




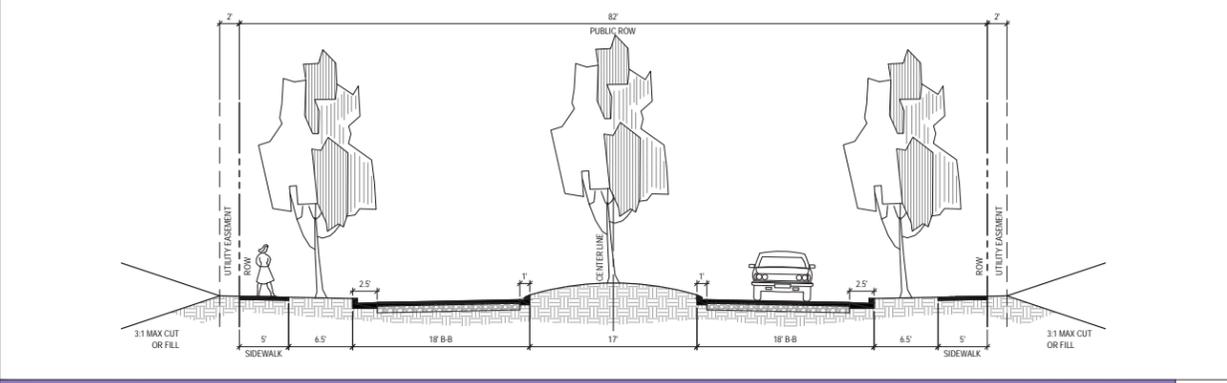
BROOKHILL DRIVE (NCDOT)
SCALE: NTS 1



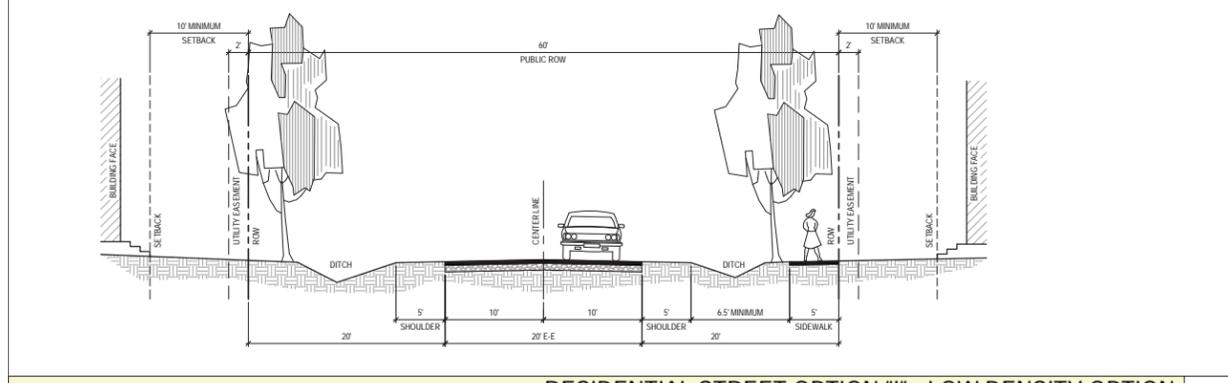
EARP POND ROAD COLLECTOR
SCALE: NTS 2



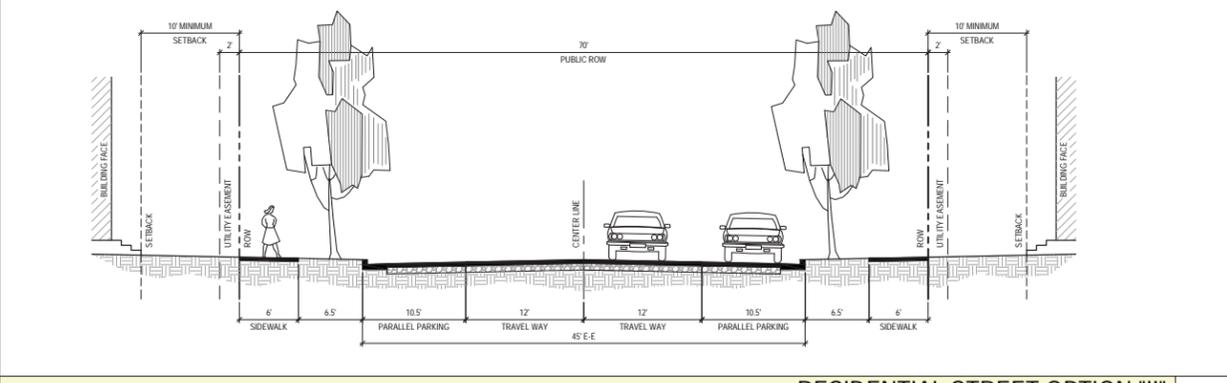
RESIDENTIAL COLLECTOR STREET
SCALE: NTS 3



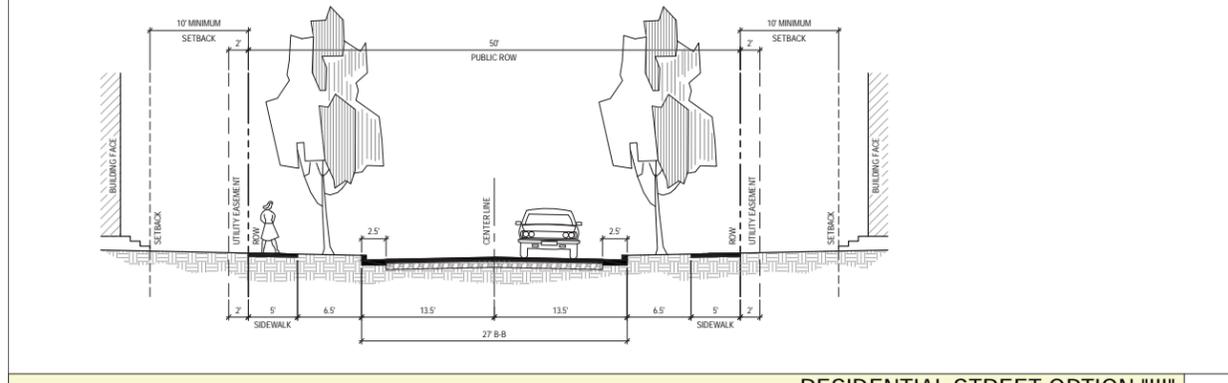
RESIDENTIAL MAIN ENTRANCE ALTERNATE "C"
SCALE: NTS 4



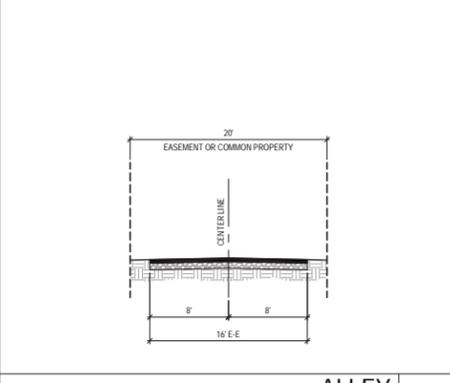
RESIDENTIAL STREET OPTION "I" - LOW DENSITY OPTION
SCALE: NTS 5



RESIDENTIAL STREET OPTION "II"
SCALE: NTS 6



RESIDENTIAL STREET OPTION "III"
SCALE: NTS 7

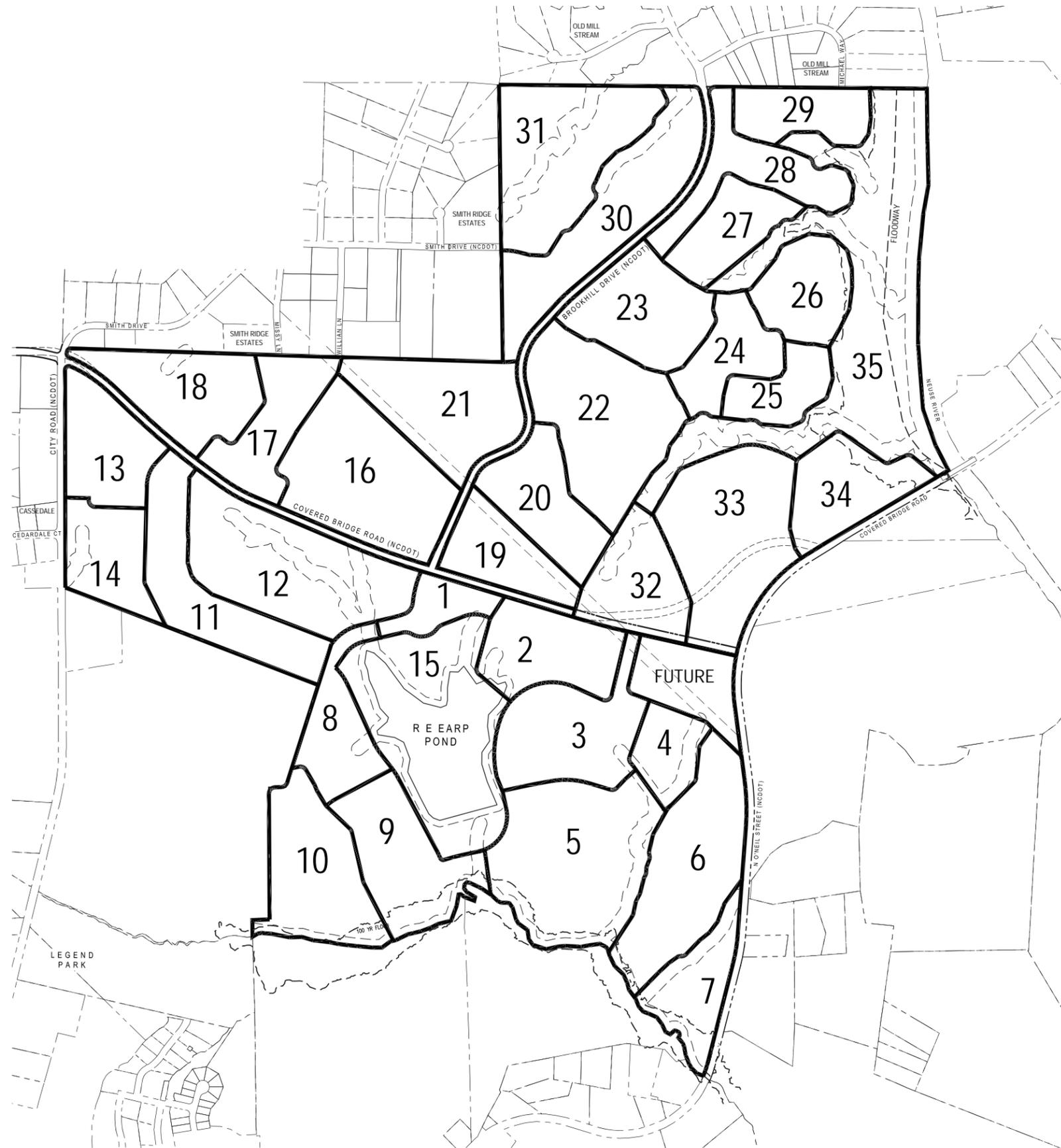


ALLEY
SCALE: NTS 8

- NOTES:**
1. IN ALL STREET SECTIONS, STANDARD CURB AND GUTTER CAN BE INTERCHANGED WITH TOWN OF CLAYTON STANDARD VALLEY CURB AND GUTTER OR ROLLED CURB AND GUTTER.
 2. THE ULTIMATE SECTION FOR ALL NCDOT ROADS ON THE PERIMETER OF THE PROJECT WILL BE DETERMINED BASED ON TIA, NCDOT, AND TOWN OF CLAYTON RECOMMENDATIONS.
 3. DEVELOPER TO PROVIDE 10' MULTIPURPOSE TRAIL IN LIEU OF SIDEWALKS ON CITY ROAD AND N. ONEIL STREET

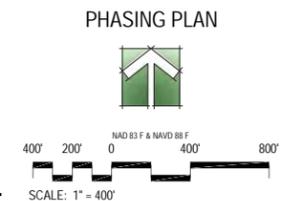
- STREET TREES NOTES:**
1. STREET TREES MUST BE PLACED A MAXIMUM OF 40 FEET ON CENTER OR 50 FEET APART.
 2. ALL STREET TREES WILL BE CANOPY TREES (AS IS REQUIRED BY THE CODE).

NOTES
SCALE: NTS 9



NOTES:
THE CLUBHOUSE PERMIT SHALL BE REQUIRED PRIOR TO THE 251ST BUILDING PERMIT.

PHASE	ACRES IN AC
1	+/- 5.49
2	+/- 14.14
3	+/- 18.55
4	+/- 7.22
5	+/- 30.99
6	+/- 24.39
7	+/- 11.13
8	+/- 11.07
9	+/- 17.67
10	+/- 19.37
11	+/- 18.62
12	+/- 28.15
13	+/- 13.10
14	+/- 11.06
15	+/- 34.64
16	+/- 26.68
17	+/- 12.45
18	+/- 16.36
19	+/- 10.78
20	+/- 13.79
21	+/- 19.64
22	+/- 26.53
23	+/- 16.57
24	+/- 10.32
25	+/- 7.94
26	+/- 11.46
27	+/- 10.26
28	+/- 12.84
29	+/- 9.50
30	+/- 23.60
31	+/- 25.11
32	+/- 13.42
33	+/- 27.16
34	+/- 13.00
35	+/- 54.25
FUTURE	+/- 9.89
TOTAL	+/- 637.13



Recreation and Open Space

The plan for Steeplechase creates a network of community parks, pocket parks, greenways, pedestrian mews, trails and sidewalks. The existing R. E. Earp pond is planned to remain and serve as a focal point for the main amenity campus. A multi-purpose trail is planned around the pond that will connect to the future Sam's Branch Greenway extension. The Sam's Branch Greenway currently terminates at O'Neil Street and connects to the Mountains To Sea Trail along the Neuse River.

Throughout the development a combination of pedestrian mews, small parks and open spaces will be provided so that all residences are within 1/8 of a mile of a useable open space. Access to walks and trails will provide residents alternative modes of travel within the development. Approximately two-thirds of the development will be within a 10 minute walk of the amenity features at R. E. Earp Pond. Other open space areas include Resource Conservation Areas such as riparian buffers adjacent to drainage ways and streams and considerable lowland on the east bank of the Neuse River and to the south along Sam's Branch.

OPEN SPACE REQUIREMENTS

Steeplechase is planned to include a mix of residential, community uses, parks and open space on 631 acres. The recreation open space is calculated using the net land area after subtracting the Resource Conservation Areas (RCA's). RCA's are areas in flood plains, ponds, riparian buffers, wetlands, etc. The net land area after subtracting the +/- 111.19 acres of RCA's is 519.87 acres. Based on the net acreage of 519.87 acres a total of 64.98 acres of recreation open space is required.

REQUIRED RECREATION & OPEN SPACE

519.87 AC x 12.5% = 64.98 AC

REQUIRED ACTIVE RECREATION SPACE

64.98 ac x 25% = 16.245 AC

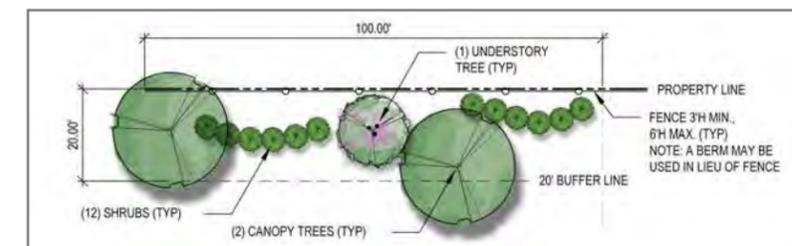
REQUIRED CONSERVATION AREAS	ACRES	% LAND AREA (GROSS)
Flood Plain	+/- 53.78	+/- 10.34%
Riparian Buffers	+/- 41.03	+/- 7.89%
Pond	+/- 16.38	+/- 3.15%
Total Required Conservation Areas	+/- 111.19	+/- 21.39%

OPEN SPACE PROVIDED

Active Recreation Space	+/- 29.22	+/- 4.63%
Passive Open Space	+/- 29.83	+/- 4.73%
Phase 7	+/- 6.03	+/- 0.96%
Total Open Space Provided	+/- 65.08	+/- 10.31%

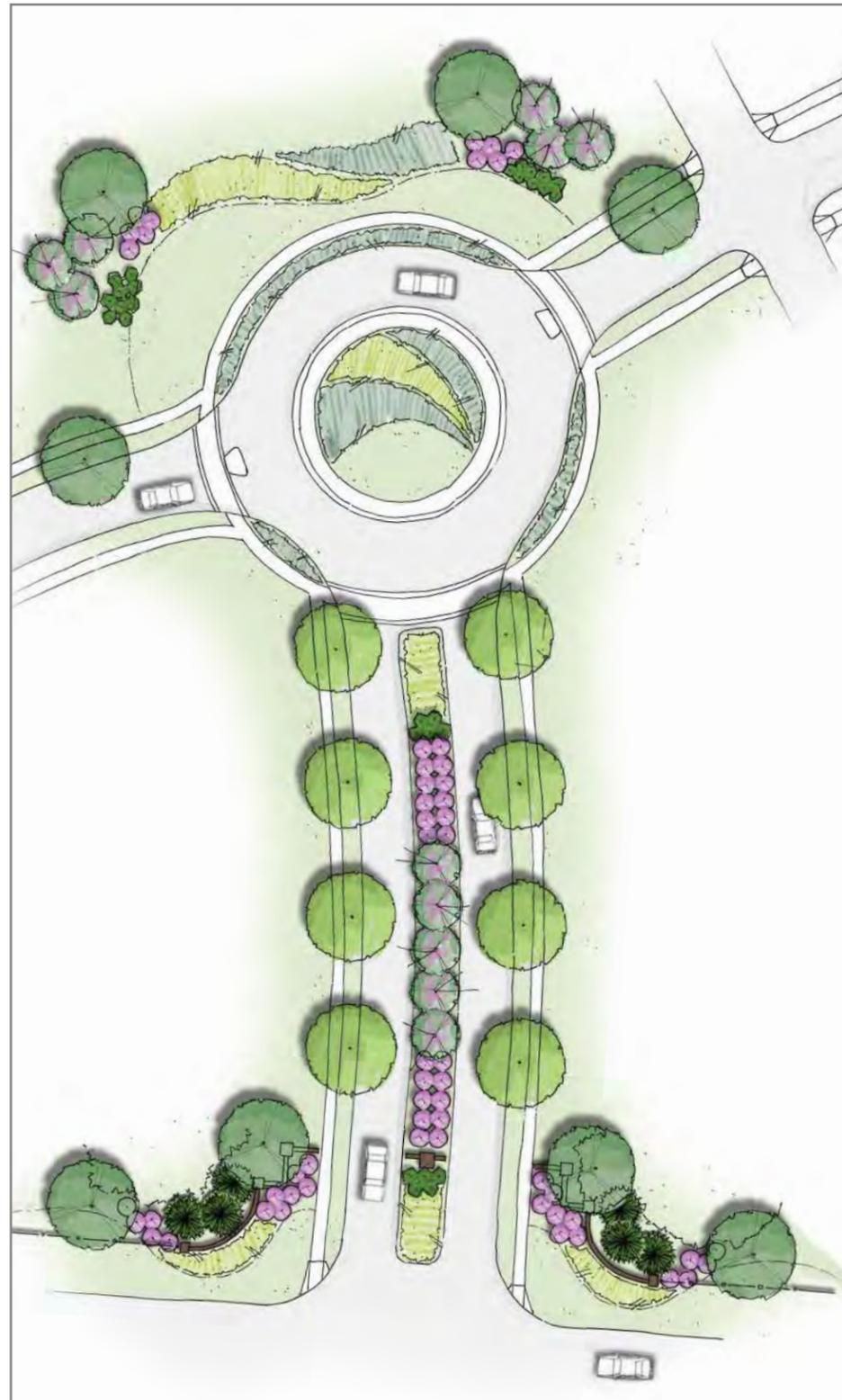
LINEAR FOOTAGE - GREENWAYS / MULTI-PURPOSE TRAILS

Public	+/- 12,700 LF (127,000 SF / 2.91 AC)
Private	+/- 13,400 LF (134,000 SF / 3.07 AC)



PERIMETER LANDSCAPE BUFFER: CLASS C (typical)





**ENTRY FEATURE /
ROUNDAABOUT (TYPICAL)**

DESIGN ELEMENTS

1. Entry Features / Signage
2. Landscaped Medians
3. Entry Landscapes
 - (+/- 16) Trees
 - (+/- 75) Shrubs

Recreation and Open Space

The overall Parks and Open Space plan consists of elements that contribute to neighborhood character and a sense of community. These elements may include pocket parks, sidewalks, greenways, seating, streetscape plantings and entry features, and scenic overlooks.

ROUND-ABOUTS

Round-abouts are used as a traffic calming measure but also provide an opportunity to create a focal point with enhanced landscape plantings.

GREENWAY TRAIL AND SCENIC OVERLOOK

There are opportunities within the community to develop greenway connections to the Mountains to Sea Trail along the Neuse River. These trail connections can be co-located with other amenities such as scenic overlooks to provide a network of nature trails and observation areas which feature the natural surroundings.

All Active Recreation site / parks must receive separate site plan approval.

The Developer is in talks with the Town about the dedication of Phase 7 in its entirety (approx. 11 acres). No agreement has been made at this time. The Developer agrees to dedicate a 30' wide easement along the southern boundary for the extension of the Sam's Branch / Mountain to Sea Trail (approx. 2.85 acres). If P



GREENWAY TRAIL AND SCENIC OVERLOOK (TYPICAL)

DESIGN ELEMENTS

1. Trail
2. Seating



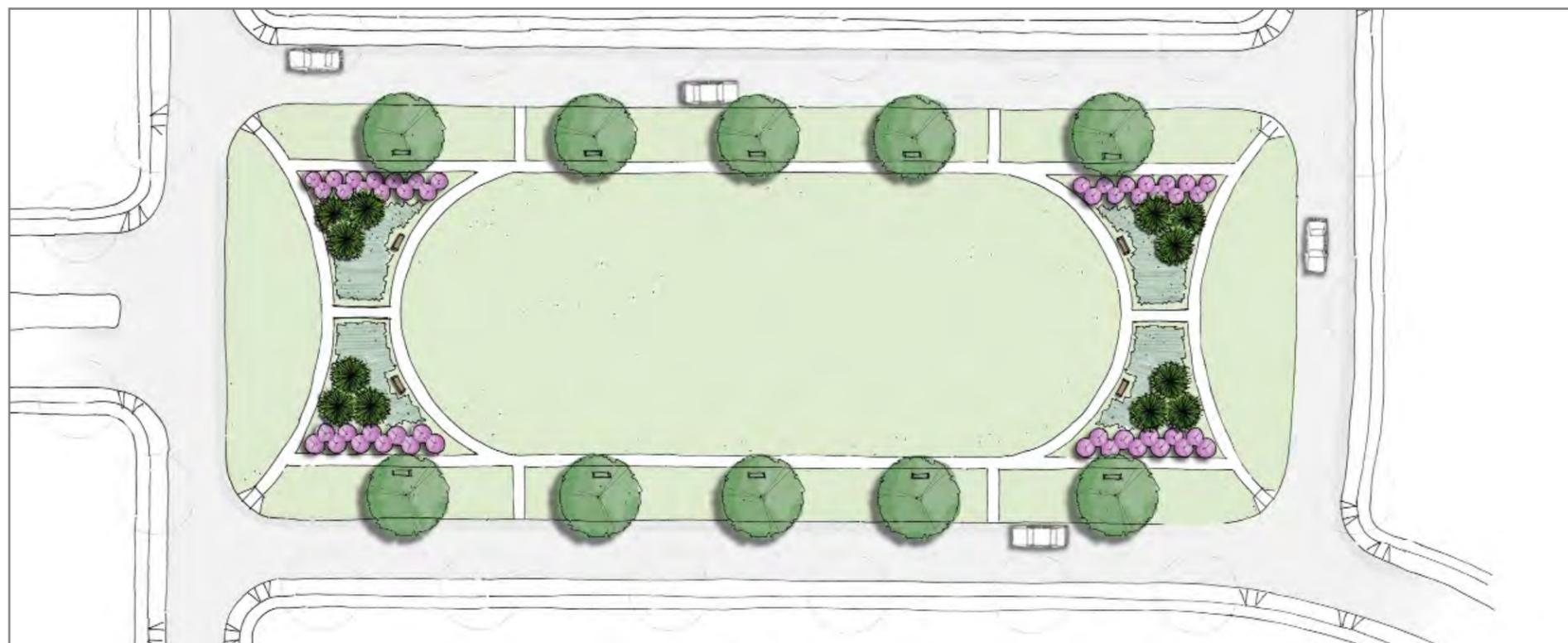
POCKET PARKS

These 'mini-parks' should be located throughout the community and range in size to serve as focal points and activity nodes. These parks can contain active or passive recreational opportunities and serve an important element in creating and developing a sense of community among residents.

"TOT LOT" (TYPICAL)

DESIGN ELEMENTS

1. Seating
2. Play Structure
3. Landscaping



POCKET PARK (TYPICAL)

DESIGN ELEMENTS

1. Seating
2. Sidewalk
3. Landscaping

Detached Homes - Single Family

Detached Single Family homes shall be the primary lot type within the development. The lot size can vary between large and small lots but shall be a minimum of 4,500 square feet. Single family homes should be clustered together throughout the community.

LOT STANDARDS

1. Lot standards shall be as follows:
 - a. The minimum lot size shall be 4,500 square feet and no maximum is established.
 - b. The minimum lot width shall be 40' and no maximum is established.
 - c. The minimum lot depth shall be 100' and no maximum is established.
 - d. The maximum lot coverage shall be 70%
 - e. The maximum lot impervious area shall be 75%
2. Setbacks shall be as follows:

Front Setback - Minimum	10'
Side Interior Setback	4'
Side Street Setback - Minimum	10'
Rear Setback - Minimum	10'
Zero Lot Line Side Setback	0'
Height - Maximum	35'
Accessory	5'

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.
4. Where the lot has an alley or is a corner lot, garages and parking may be accessed from the alley or side street where possible.
5. The buildable zone is the area defined and bounded by the setbacks on all property lines.
6. A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips.
7. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.

PERMITTED USES AND DIMENSIONAL STANDARDS

1. Residences shall consist of detached single family homes and zero lot line homes. Garages may be detached or attached and maybe alley loaded. They may also have accessory apartments and/or living spaces above.
2. Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.
3. Roof pitches shall range between 3:12 and 10:12 and should be consistent with each style of building.
4. Fences may be located on the property line (0' setback).

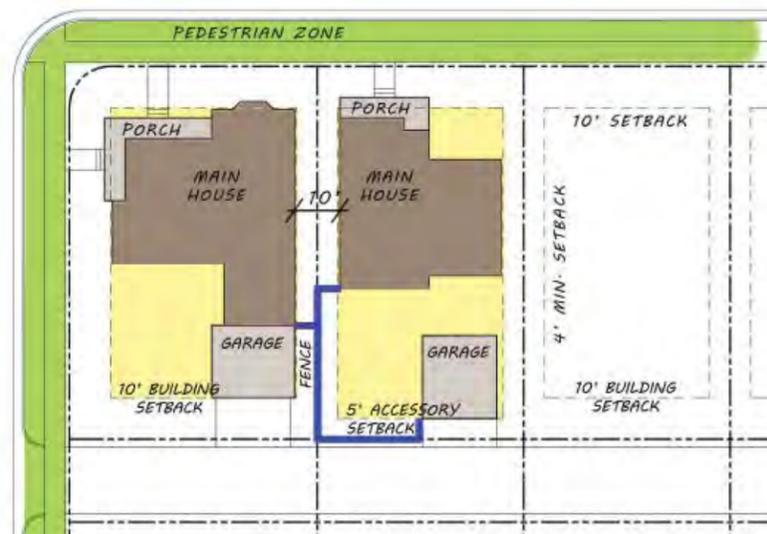
5. Building massing should respond directly to the context of the site location. For example structures on narrow lots within an urban context should have simple and often singular massing, whereas buildings on wide lots in a suburban context should divide their overall floor area through various masses and roof lines as appropriate to their architectural style.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
2. Front porches should be no less than 5' in depth and may be at grade.
3. All single family detached homes will require review by the Architectural Review Committee (see page 12).



Lot Type: Single Family - Street Access



Lot Type: Single Family - Alley Access



Attached Homes - Townhomes & Single Family

Attached homes in the community will consist of single family and townhome residences. These lots will have a minimum size of 1,000 square feet and be clustered throughout the community. These residences may have street- or alley-loaded garages.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
 - a. The minimum lot size shall be 1,000 square feet and no maximum is established.
 - b. The minimum lot width shall be 16' and no maximum is established.
 - c. The minimum lot depth shall not be established.
 - d. The maximum lot coverage shall be 70%
 - e. The maximum lot impervious area shall be 75%
2. Setbacks shall be as follows:

Front Setback - Minimum	5'
Side Interior Lot Setback	0'
Side Street Setback - Minimum	5'
Rear Setback - Minimum	10'
Zero Lot Line Side Setback	0'
Height - Maximum	45'
Accessory	5'
3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.

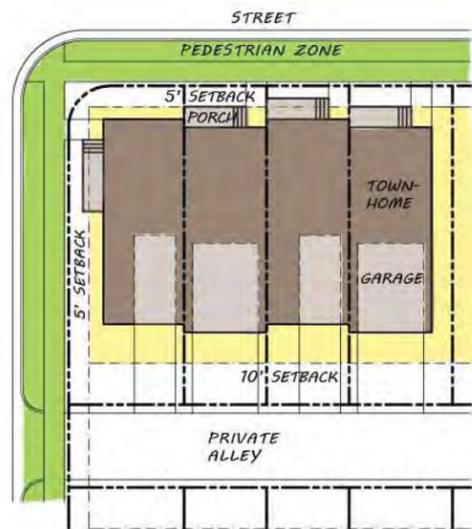
4. The buildable zone is the area defined and bounded by the setbacks on all property lines.
5. A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips.
6. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center

PERMITTED USES AND DIMENSIONAL STANDARDS

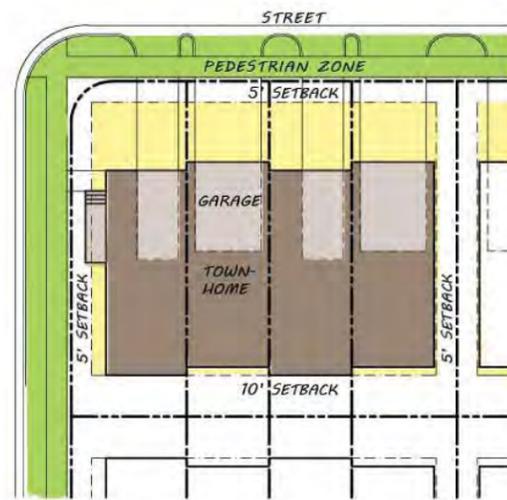
1. Attached residences are defined as buildings on zero lot line lots with fire rated party walls located on property lines that have buildings built to the same property line. Buildings in this category consist of duplexes and townhomes. Garages may be attached or detached and maybe be accessed by private or public drives. They may also have accessory apartments and/or living spaces above.
2. Party walls shall be fire rated in accordance with international building code.
3. Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

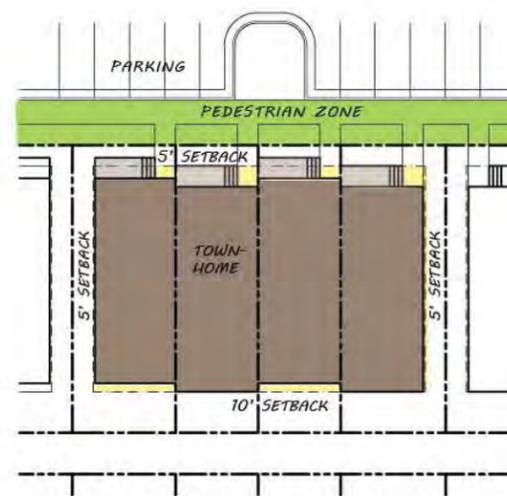
1. Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
2. All single family attached homes will require review by the Architectural Review Committee (see page 12).



Lot Type: Townhome / SF - Alley Access



Lot Type: Townhome / SF - Street Access



Lot Type: Townhome / SF - Surface Parking



Multi-Family - Condo / Apartments

Multi-family residences in the community can be condominium and/or apartment buildings. This type of residential product should be located closer to the proposed commercial retail uses.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:

- a. There is no minimum lot size established.
- b. There is no minimum lot width established.
- c. There is no minimum lot depth established.
- d. The maximum lot coverage shall be 80%
- e. The maximum lot impervious area shall be 80%

2. Setbacks shall be as follows:

Front Setback - Minimum	0'
Side Interior Lot Setback	5' (20' min. between buildings)
Side Street Setback - Minimum	0'
Rear Setback - Minimum	5'
Height - Maximum	55'

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.
4. Minimum building to building separation is 20'
5. Multi-Family residential shall front on public or private streets and common areas. Parking shall be accessed from internal private drives.
6. The buildable zone is the area defined and bounded by the setbacks on all property lines.
7. A pedestrian zone is established from the back of curb to the right of way line. The pedestrian zone may include sidewalks and planting strips
8. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.

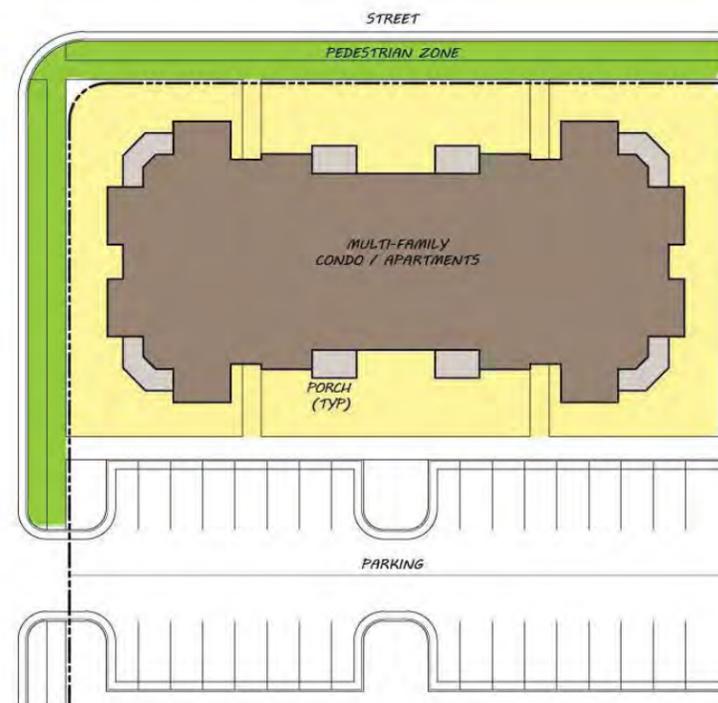
PERMITTED USES AND DIMENSIONAL STANDARDS

1. Buildings can consist of multi-unit condominiums, apartments, flats, stacked flats, stacked townhomes, or multi-family.
2. Party walls shall be fire rated in accordance with international building code.
3. Primary entrances for accessible units should be "at grade" or otherwise compliant with accessibility guidelines as outlined in the international building code.

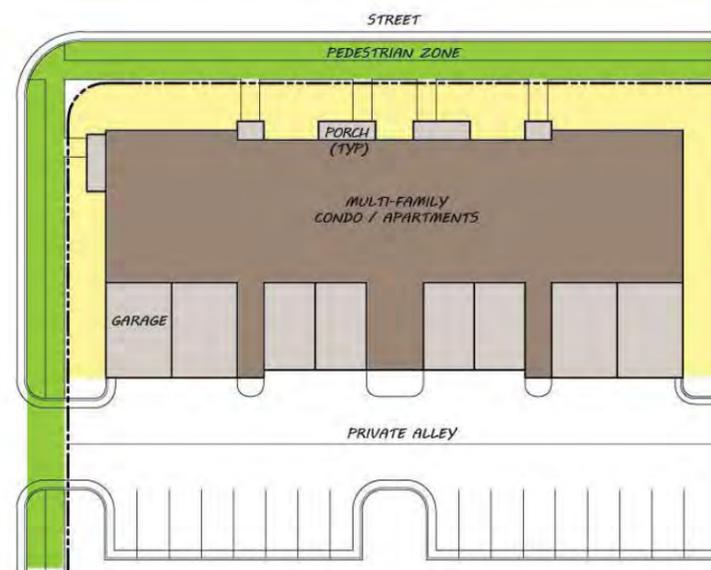
4. Roof may be flat or pitched. Flat roofs should be designed with a parapet per code requirements. Pitched roofs should be designed to shed water to the front or back of the building with pitches in .

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be deemed appropriate based on review by the Architectural Review Committee.
2. Balconies or porches are shall be encouraged.
3. All multi- family units will require review by the Architectural Review Committee (see page 12).



Lot Type: Multi-Family - Surface Parking



Lot Type: Multi-Family - Alley Access



Amenity and Club

The community shall have a community center / club to serve all residents. The club can feature amenities such as a community pool, playground, tennis courts, exercise gym. Additionally, other featured amenities such as pocket parks, greenway connections, tot lots should be located throughout the community. The Clubhouse permit shall be required prior to the 251st building permit.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
 - a. There is no minimum lot size established.
 - b. There is no minimum lot width established.
 - c. There is no minimum lot depth established.

2. Setbacks shall be as follows:

Front Setback - Minimum	15'
Side Interior Lot Setback	5' (10' min. between buildings)
Side Street Setback - Minimum	10'
Rear Setback - Minimum	5'
Height - Maximum	45'

3. Variations from lot setbacks up to 20% may be permitted with the approval of the planning director.

4. Building entrances should be developed as pedestrian plazas for gatherings.
5. The buildable zone is the area defined and bounded by the setbacks on all property lines.
6. A pedestrian zone is established from the back of curb to the right of way line but may also include an area along the edge of a public space. The pedestrian zone will include minimum 5' sidewalks and planting strips along building fronts.
7. Street trees shall be located in the planter strip between the back of curb and the sidewalk. Trees shall be located no farther than 60' on center.
8. Parking and service areas should be located towards the sides or rear of buildings. Where site conditions or other limiting circumstances result in a building fronting a upon a parking area, a pedestrian zone shall be provided from the back of curb to the outer edge of the sidewalk in a similar manner to that provided along a street.
9. Multi-purpose trails, outdoor seating and other spaces, i.e. docks, viewing areas, etc. maybe provided along the waterfront.

PERMITTED USES AND DIMENSIONAL STANDARDS

1. Community buildings should have a prominent location and be adjacent to public spaces whenever possible, surface parking should be provided off to the sides or rear of the building.

2. Maximum height limit shall be Three (3) stories. Cupolas, bell towers and ancillary rooftop facilities are permitted to be taller.
3. Accessory buildings are permitted and must follow the setbacks established in the lot standards listed above.
4. Roof pitches shall be designed in congruence with the desired character and style of the building. Roof pitches will typically range between 3:12 and 10:12 or may be flat with a parapet.
5. Primary entrances for accessible buildings should be "at grade" or otherwise compliant with accessibility guidelines as required by the Americans with Disabilities Act.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be deemed appropriate based on review by the Architectural Review Committee.
2. All single community buildings will require review by the Architectural Review Committee (see page 12).



Commercial Area

The Commercial area shall have a base zoning district of B-2. This area shall be developed as a neighborhood retail shopping center to serve the needs of Steeplechase and the surrounding communities. Office and residential uses on upper stories will be allowable in this district. This area will range between +/-5 acres up to +/-8 acres.

LOT STANDARDS

1. Minimum and maximum lot dimensions shall be as follows:
 - a. The minimum lot size shall be 6,000 square feet
 - b. The minimum lot width shall be 50'
 - c. The minimum lot depth shall not be established.
 - d. The maximum lot coverage shall be 75%
 - e. The maximum lot impervious area shall be 75%
2. Setbacks shall be as follows:

Front Setback - Minimum	20'
Side Interior Lot Setback	10'
Side Street Setback - Minimum	10'
Rear Setback - Minimum	20'
Zero Lot Line Side Setback	0'
Height - Maximum	80'

PERMITTED USES AND DIMENSIONAL STANDARDS

1. The B-2 district provides opportunities for small-scale commercial uses offering primarily convenience shopping and services for adjacent residential areas. Proximity to residences requires that commercial operations are low intensity, unobtrusive and conducted at a scale and density compatible with the surrounding neighborhood. There is a relatively low demand on public services, transportation and utilities.
2. A maximum height of 80' has been designated for this district to allow offices and residential units in upper stories.

ARCHITECTURAL AND CONTEXTUAL STANDARDS

1. Architectural styles shall be consistent with the standards set forth by the Architectural Review Committee.
2. The commercial area will require review by the Architectural Review Committee (see page 12).



Architectural Review Committee

The developer (and any subsequent Homeowner's and/or Property Owner's Associations) shall ensure a wide variety of residential products are developed throughout the community. Prior to the first site plan submittal, developer shall establish an Architectural Review Committee (ARC) that reviews and approves all proposed architecture and site architecture and site furnishings for quality, compatibility and consistency. This entity shall subsequently review and approve all development requests prior to the submittal to the Town of Clayton for any building permit. The ARC shall also establish, enforce, modify and grant conformance with the documents and provisions indicated below. It shall also enforce any applicable standards within the community's adopted restrictive covenants.

BASIC PALETTE FOR RESIDENTIAL USES

- **Primary Buildings:** Brick, modular brick; Vinyl siding; Hardi-plank; batten board siding, pre-cast materials, Wood; Simulated wood; Stone, and Simulated stone.
- **Roof Elements:** Asphalt Shingles; Metal Roofs, Simulated tile (design and color may vary). Flat or membrane roofs shall be prohibited (except for mixed-use buildings).
- **Columns:** Wood, Brick, Pre-cast; Fiberglass; Simulated stone; Steel; and aluminum.
- **Colors:** A variety of colors may be used so long as they are complimentary. While accents and trim colors may vary. A maximum of two primary colors may be used on the façade. Garages and accessory structures shall match the primary residence.
- **Building Accents:** Simulated Stone, Tile, Pre-case; Wood, EIFS; Brick patterns and anent brick; quoins; and architectural masonry.
- **Garages and Parking:** A maximum four cars can be garaged on any single family lot. A minimum of two parking spaces shall be provided for each unit (via a garage, in a driveway, on a private street or in an off-street space)
- **Porches and Stoops:** Porches may be located at the front, side, or rear of the house. Front porches or stoops shall be a minimum of five (5') feet in depth and provide adequate setback from the lot lines and public streets.
- **Mechanical Equipment:** Ground level mechanical equipment shall be located at the side or rear of the lot and screened from view with plantings or a wall of the same or compatible materials to the buildings' exterior.
- **Fencing in Perimeter Yard:** The ARC shall review and approve all fencing styles, materials, and height within the Perimeter Buffer (Type C) along existing public streets. The intent is to create continuity in product, style and appearance.
- **Elevations:** Architectural elevations will have variety to ensure adjacent units have different facades. The intent is to ensure the homes are not "cookie-cutter" and provide architectural diversity.

Phasing

OVERALL PHASING

Schedules for the ultimate phasing of plans, permits and construction for the project will be dependent on market forces and requirements for infrastructure improvements. Initial phases for the development will require extensions of public streets, water and sanitary sewer systems. Areas along existing Covered Bridge Road and O'Neal Street will likely be the first to be developed. However, smaller phases may be created and approved by the staff. The referenced phase number on the Phasing Plan does not necessarily represent the exact sequence of development. Although the Clubhouse is shown in phase 15, the permit application for clubhouse construction will be submitted prior to the application for the 251st residential building permit. Unless specifically stated herein and with approval of Town Staff, the developer retains the right to reconfigure the phases based on market forces and infrastructure needs.

AMENDMENTS TO THE APPROVED MASTER PLAN

As long as the developer owns real property within the Master Plan development, only the developer or personnel authorized in writing by the developer shall have the right to amend the plan.

POTENTIAL SCHOOL SITE

The master plan identifies a potential school site located on City Road frontage of the development. The developer will entertain requests from the school district for up to two (2) years from the date of plan adoption by Town Council. If the site is donated to the school district the developer would expect a credit applied to any impact fees equal to the value of the land plus any lost revenue.

DEVELOPMENT NAME CHANGE

The developer reserves the right to change the name of the development prior to recording the first plat associated with this development.

Appendix

COVER	SHEET 0
EXISTING CONDITIONS	SHEETS 1-3
MASTER PLAN	SHEETS 4, 4A, 4B, 4C
PHASING PLAN	SHEET 5
OPEN SPACE PLAN	SHEET 6
VEHICULAR AND PEDESTRIAN PLAN	SHEET 7
STREET WAIVER REQUESTS	SHEET 8



Know what's below.
Call before you dig.

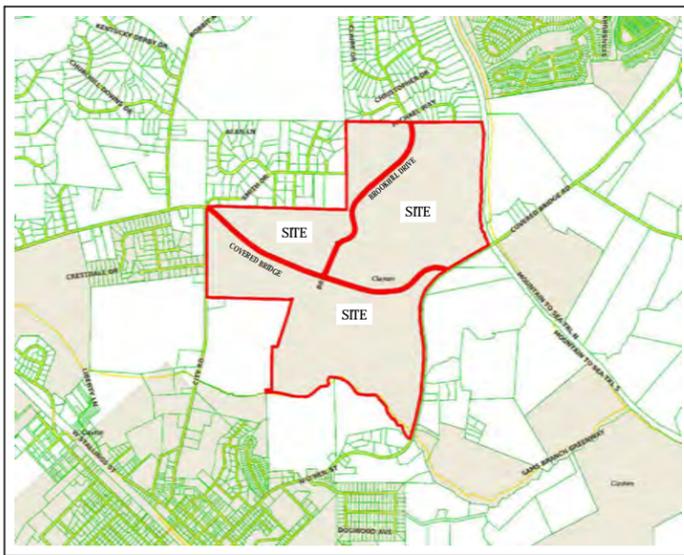
PSD 2014-128 & PDD 2014-127

Preliminary Plat Review (Major Subdivision)

- 1st Submittal: October 01, 2014
- 2nd Submittal: October 24, 2014
- 3rd Submittal: November 10, 2014
- 4th Submittal: January 7, 2015
- 5th Submittal: January 14, 2015
- 6th Submittal: January 20, 2015
- 7th Submittal: February 13, 2015
- 8th Submittal: February 23, 2015

Steeplechase Subdivision

1162 Covered Bridge Road
Clayton, Johnston County, North Carolina 27520

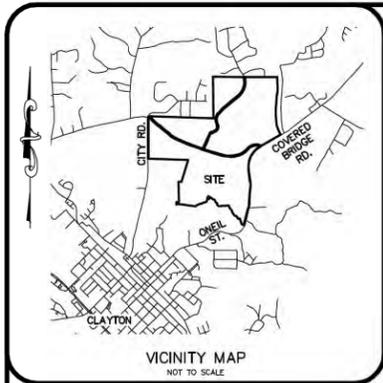
Vicinity Map	Project Team	Notes	Sheet Index																
 <p>2/22/2015 2:20 PM P:\land\14080-Covered_Bridge_Assessment\Working_Files_VP\Map\14080-Covered1.dwg</p> <p>PIN NUMBER(S): 166900-38-4997 DEED: BOOK 03897, PAGE 0735 SITE ARE: 27,488.974 SF/631.06 AC (ASSESSED ACREAGE); 27,488.102 SF/631.04 AC (CALC. ACREAGE) ZONING(S): R-8 & R-10, NEIGHBORHOOD BUSINESS (B-2) HORIZONTAL AND VERTICAL DATUM: NAD 83 F & NAVD 88 F</p>	<p>OWNER: <i>Nancy Crews Earp & Mary Earp Worley</i> 7230 NC 42 East Selma, North Carolina 27576 919-965-5793 & 919-915-1515 nancyearp@bellsouth.net winkworley@gmail.com</p> <p>DEVELOPER: <i>Galaxy NC, LLC</i> c/o Wakefield Development Company 3100 Smoketree Court, Suite 210 Raleigh, North Carolina 27604 919-556-4310 919-556-0690 (fax) kem@wakedev.com</p> <p>CONSULTANTS: <i>landscape architect</i> JDavis Architects, PLLC 510 Glenwood Avenue, Suite 201 Raleigh, North Carolina 27603 919-835-1500 919-835-1510 (fax) kent@jdavisarchitects.com</p> <p><i>landscape architect</i> Jerry Turner & Associates, INC 905 Jones Franklin Road Raleigh, North Carolina 27606 919-851-7150 919-851-7547 (fax) whood@jerryturnerassoc.com</p> <p>engineer <i>The John R. McAdams Co, INC</i> 2905 Meridian Parkway Durham, North Carolina 27713 919-361-5000 Moore@McAdamsCo.com</p> <p>surveyor <i>The John R. McAdams Co, INC</i> 2905 Meridian Parkway Durham, North Carolina 27713 919-361-5000 Frederick@McAdamsCo.com</p> <p>traffic engineer <i>Davenport</i> 305 West Forth Street, Suite 2A Winston-Salem, North Carolina 27101 336-744-1636 336-458-9377 (fax)</p> <p>Environmental <i>Spangler Environmental, INC</i> 4338 Bland Road Raleigh, North Carolina 27609 919-875-4288 919-546-0757 (fax)</p>		<p>COVER _____ 0 EXISTING CONDITIONS PLAN _____ 1-3 EXISTING CONDITIONS PLAN _____ 2-3 EXISTING CONDITIONS PLAN _____ 3-3 MASTER PLAN _____ 4 PHASING PLAN _____ 5 RECREATION & OPEN SPACE PLAN _____ 6 VEHICULAR & PEDESTRIAN CIRCULATION PLAN _____ 7 STREET WAIVER REQUESTS _____ 8</p> <p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>REVISIONS:</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1st Review Comments</td> <td>10.24.2014</td> </tr> <tr> <td>2nd Review Comments</td> <td>11.10.2014</td> </tr> <tr> <td>3rd Review Comments</td> <td>01.07.2015</td> </tr> <tr> <td>4th Review Comments</td> <td>01.14.2015</td> </tr> <tr> <td>5th Review Comments</td> <td>01.20.2015</td> </tr> <tr> <td>6th Review Comments</td> <td>02.13.2015</td> </tr> <tr> <td>7th Review Comments</td> <td>02.23.2015</td> </tr> </tbody> </table> <p>DRAWN BY: SB CHECKED BY: AT CONTENT: COVER</p> <p>0</p>	REVISIONS:	DATE	1st Review Comments	10.24.2014	2nd Review Comments	11.10.2014	3rd Review Comments	01.07.2015	4th Review Comments	01.14.2015	5th Review Comments	01.20.2015	6th Review Comments	02.13.2015	7th Review Comments	02.23.2015
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Galaxy NC, LLC
c/o Wakefield Development Company
Steeplechase Subdivision
1162 Covered Bridge Road
Clayton, North Carolina 27520



Preliminary Plat Review
(Major Subdivision)
Not for Construction

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VICINITY MAP
NOT TO SCALE

I, RONALD T. FREDERICK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED DESCRIPTION RECORDED IN BOOK AND PAGE (AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AND DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE (AS SHOWN); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:42,525; AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS

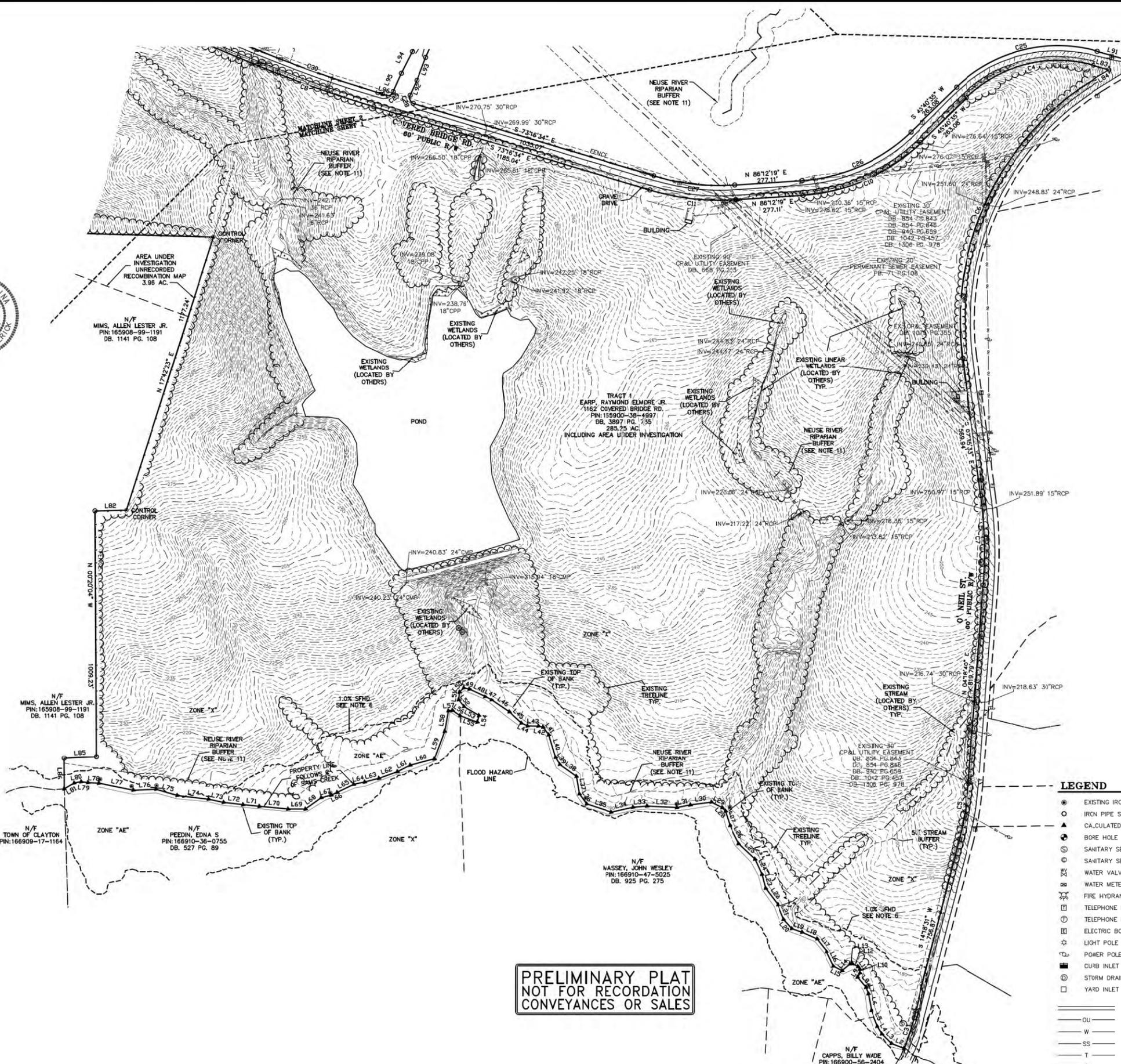


DAY OF _____ A.D. 2014.

RONALD T. FREDERICK PLS L-4720

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE: G.S. 47-30 (1)(1)(c). THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

RONALD T. FREDERICK PLS L-4720



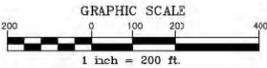
GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A TOPOGRAPHIC SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83 COORDINATES.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: R-10
- AREA BY COORDINATE GEOMETRY.
- FLOOD NOTE: THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS PARTIALLY LOCATED IN ZONE "AE" AS DEFINED BY FEMA FIRM COMMUNITY PANEL #372016900J & 372017600J DATED DECEMBER 2, 2005
- REFERENCES: PG. 8 PG. 73 & DB. 3897 PG. 735 OF THE JOHNSTON COUNTY REGISTRY. PIN: 165900-48-9997
- UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- SEE SHEET 2 OF 2 FOR LINE AND CURVE TABLES.
- NEUSE RIVER RIPARIAN BUFFERS MEASURED 50 FEET FROM TOP OF BANK, WHERE SHOWN THE CREEK WAS LOCATED BY OTHERS (SPANGLER ENVIRONMENTAL)

**PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES**

LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- BORE HOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
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2905 Meridian Parkway
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REVISIONS:

NO.	DATE	DESCRIPTION

SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKETREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

**STEEPLECHASE
(EARP PROPERTY)**
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
TOPOGRAPHIC SURVEY

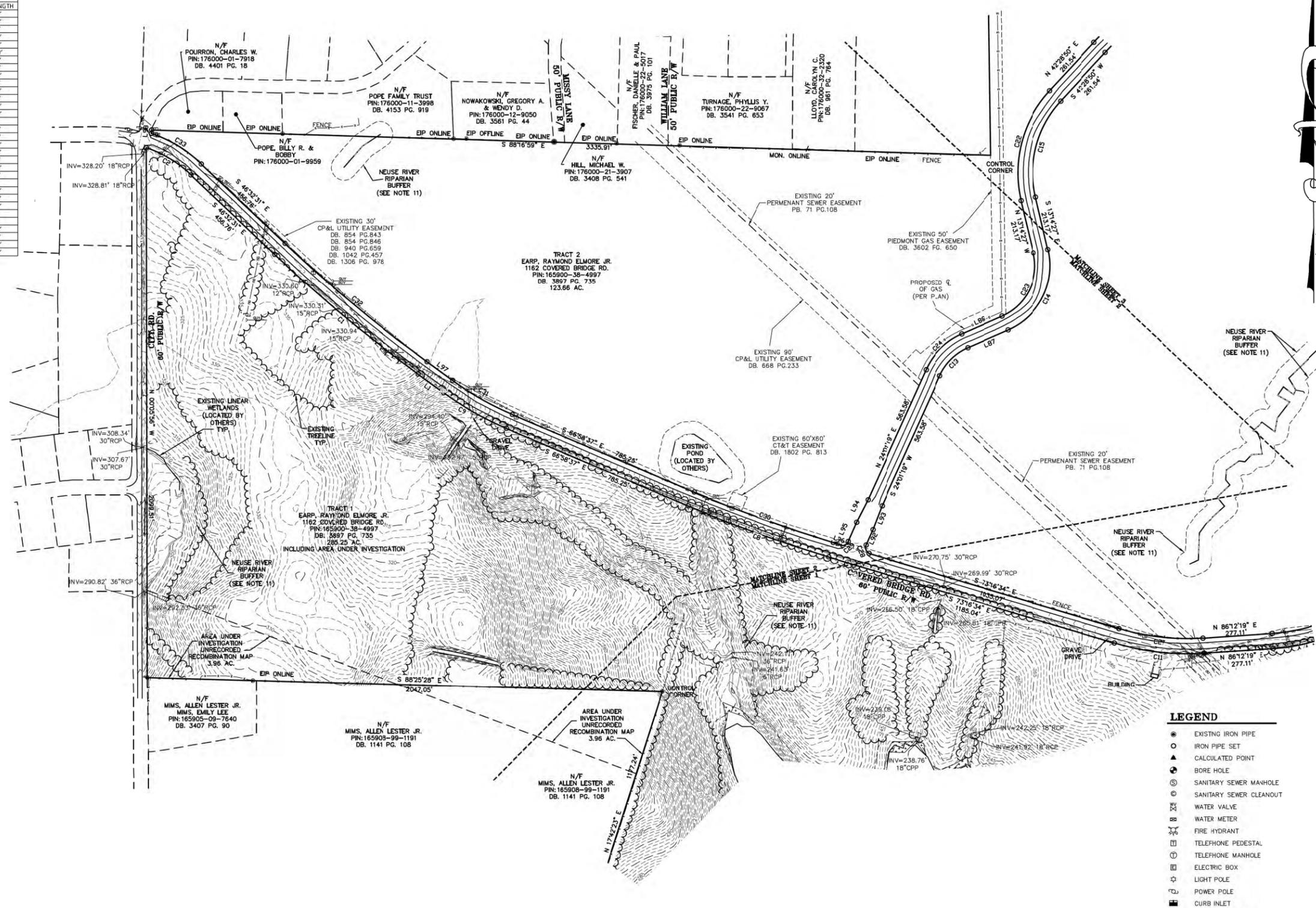
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FILENAME: WDL14000-C1
SURVEYED BY: RTF
DRAWN BY: JBT
SCALE: 1"=200'
DATE: 10-29-2014
SHEET NO. 1-3

GENERAL NOTES

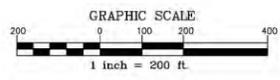
1. SEE LINE AND CURVE TABLES THIS SHEET
2. SEE SHEET 1 FOR GENERAL NOTES

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	5850.00'	743.38'	S 50°10'56" E	742.89'
C2	490.00'	208.52'	N 58°43'58" W	206.95'
C3	1060.00'	130.94'	N 17°50'51" E	130.86'
C4	536.30'	563.06'	S 75°45'12" W	537.55'
C5	1320.00'	229.78'	N 09°17'53" E	229.49'
C6	1165.00'	1341.49'	S 25°13'43" V	1268.60'
C7	1770.00'	367.74'	N 01°38'27" W	367.08'
C8	5430.00'	593.47'	S 70°08'42" E	593.18'
C9	1250.00'	286.98'	S 60°23'59" E	286.35'
C10	766.00'	541.84'	N 05°36'27" E	530.61'
C11	1005.00'	359.91'	S 03°32'07" E	357.99'
C12	220.00'	160.96'	S 44°58'32" V	157.39'
C13	280.00'	386.96'	N 26°20'59" E	356.89'
C14	420.00'	408.46'	S 14°37'12" W	392.55'
C15	1170.00'	150.20'	S 46°09'30" W	150.10'
C16	1230.00'	318.44'	N 42°24'53" E	317.25'
C17	880.00'	828.39'	N 08°01'31" E	798.14'
C18	820.00'	793.21'	N 07°16'53" E	762.65'
C19	1170.00'	303.10'	N 42°24'53" E	302.25'
C20	1830.00'	157.91'	S 46°09'30" W	157.80'
C21	480.00'	466.81'	S 14°37'12" W	448.63'
C22	220.00'	304.03'	N 26°20'59" E	280.41'
C23	280.00'	204.85'	S 44°58'32" V	200.31'
C24	596.30'	626.05'	S 75°45'12" W	597.69'
C25	706.00'	499.40'	N 05°36'27" E	489.05'
C26	945.00'	338.42'	S 03°32'07" E	336.62'
C27	250.00'	37.96'	S 19°28'31" E	34.41'
C28	250.00'	27.51'	N 50°46'53" E	26.14'
C29	5370.00'	586.92'	S 70°08'42" E	586.62'
C30	1190.00'	273.21'	S 60°23'59" E	272.61'
C31	5790.00'	735.76'	S 50°10'56" E	735.26'
C32	530.00'	234.05'	N 58°43'58" W	232.29'

LINE	BEARING	DISTANCE
L1	N 53°49'21" W	125.41'
L2	S 68°22'48" E	54.82'
L3	S 45°00'04" E	55.30'
L4	S 31°01'56" E	35.81'
L5	S 21°35'11" E	71.21'
L6	S 10°46'33" E	69.38'
L7	S 20°18'57" E	27.57'
L8	S 39°28'49" E	54.26'
L9	S 30°18'17" W	19.74'
L10	S 03°25'08" E	15.80'
L11	S 32°52'53" E	12.50'
L12	S 63°36'45" E	25.28'
L13	N 88°22'42" E	9.46'
L14	N 48°48'30" E	42.88'
L15	S 62°17'19" E	40.34'
L16	S 25°28'08" E	68.84'
L17	S 37°32'55" E	64.95'
L18	S 65°49'20" E	66.77'
L19	S 70°20'45" E	44.26'
L20	S 41°43'41" E	50.71'
L21	S 22°10'52" E	65.37'
L22	S 36°58'10" E	84.09'
L23	S 14°58'39" E	59.02'
L24	S 24°21'23" E	68.05'
L25	S 46°14'39" E	92.25'
L26	S 28°18'23" E	63.28'
L27	S 17°41'06" E	61.58'
L28	S 43°38'40" E	20.09'
L29	S 62°50'21" E	49.48'
L30	S 82°17'59" E	86.87'
L31	N 70°17'07" E	67.40'
L32	S 87°03'50" E	122.72'
L33	N 85°03'51" E	57.26'
L34	N 77°00'51" E	90.83'
L35	S 71°47'00" E	108.59'
L36	S 35°43'08" E	85.80'
L37	S 09°25'19" E	72.95'
L38	S 54°19'50" E	84.79'
L39	S 31°07'13" E	34.06'
L40	S 16°40'18" E	98.00'
L41	S 36°01'29" E	38.80'
L42	S 77°32'10" E	19.64'
L43	S 89°22'39" E	44.35'
L44	S 65°23'15" E	27.92'
L45	S 47°04'21" E	68.54'
L46	S 55°50'59" E	87.81'
L47	S 62°48'31" E	29.70'
L48	S 65°02'29" E	71.02'
L49	S 77°48'47" E	24.70'
L50	N 45°06'00" E	24.51'
L51	N 08°23'27" E	31.73'
L52	N 38°27'00" W	35.79'
L53	N 59°28'45" W	71.72'
L54	N 13°37'28" E	28.25'
L55	S 69°33'57" E	76.68'
L56	S 54°46'22" E	37.78'
L57	N 83°46'40" E	16.73'
L58	N 10°10'06" E	85.68'
L59	N 20°09'29" E	122.53'
L60	N 75°31'08" E	103.55'
L61	N 62°57'11" E	58.40'
L62	N 70°05'52" E	80.21'
L63	N 75°47'12" E	61.28'
L64	N 77°51'09" E	46.17'
L65	N 63°46'59" E	75.51'
L66	N 64°46'25" E	28.12'
L67	N 76°28'40" E	43.61'
L68	N 53°48'52" E	79.19'
L69	S 89°58'29" E	72.73'
L70	S 84°41'21" E	117.79'
L71	S 84°03'12" E	68.10'
L72	S 83°05'53" E	80.01'
L73	S 77°52'22" E	62.52'
L74	S 83°23'33" E	130.27'
L75	S 73°28'38" E	90.61'
L76	N 87°44'54" E	93.77'
L77	S 78°45'25" E	144.94'
L78	S 86°29'45" E	44.76'
L79	S 83°27'49" E	27.87'
L80	N 78°58'30" E	29.29'
L81	N 59°40'56" E	47.26'
L82	N 88°47'08" E	129.50'
L83	S 74°10'10" E	66.56'
L84	S 58°23'00" W	68.68'
L85	N 87°30'58" E	132.30'
L86	N 00°29'04" W	126.80'
L87	S 65°56'25" W	175.32'
L88	N 65°56'25" E	175.32'
L89	S 27°17'20" E	193.81'
L90	S 26°51'53" E	18.08'
L91	S 74°10'10" E	121.21'
L92	S 24°01'19" W	67.23'
L93	S 21°09'34" W	100.12'
L94	N 26°53'04" E	100.12'
L95	N 24°01'19" E	82.37'
L96	S 73°18'34" E	43.63'
L97	N 53°49'21" W	125.41'
L98	S 05°44'14" W	14.80'



**PRELIMINARY PLAT
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- LEGEND**
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REVISIONS:

SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKEFREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

**STEEPLECHASE
(EARP PROPERTY)**
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
TOPOGRAPHIC SURVEY

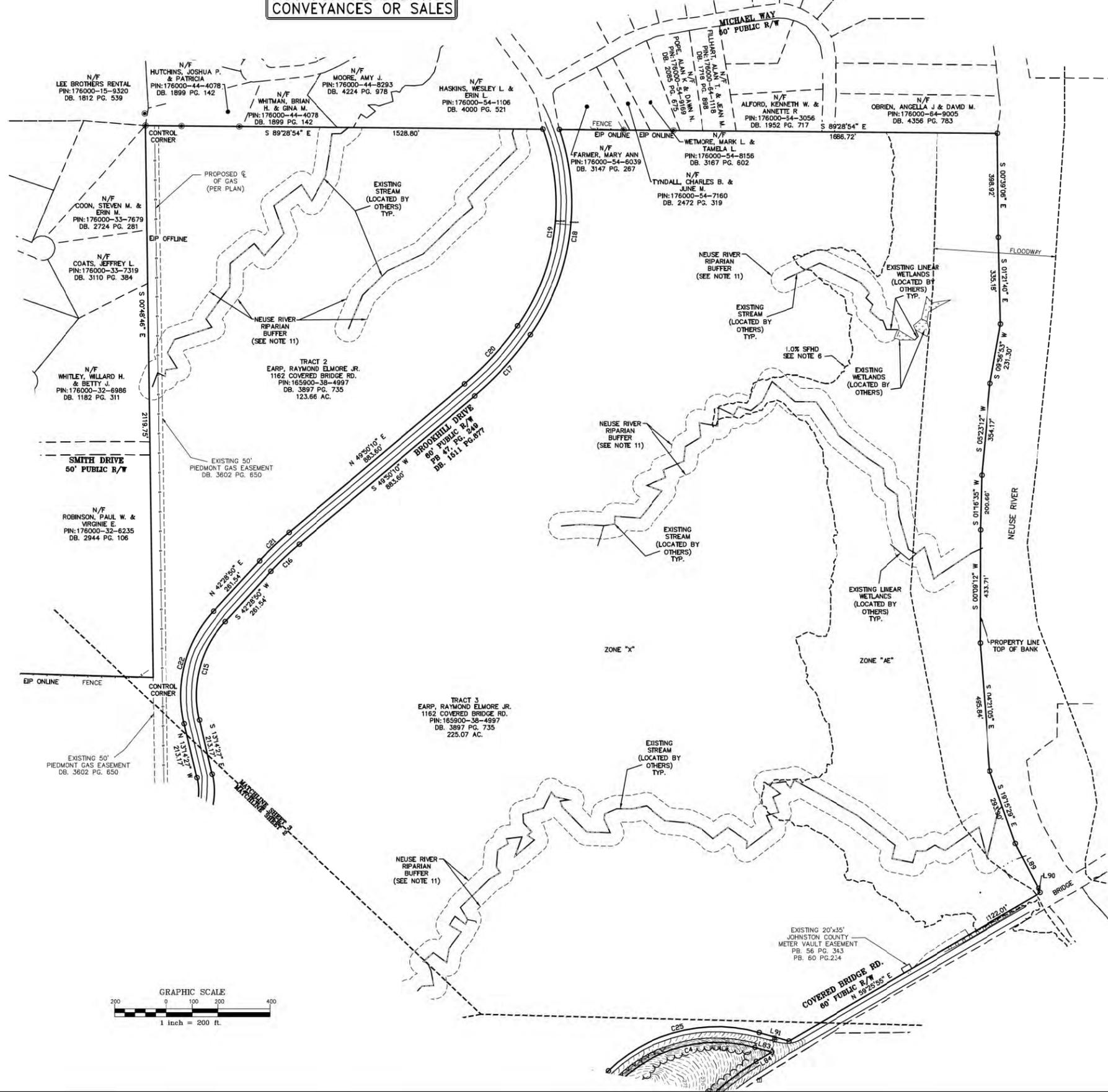
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DATE: 10-29-2014
SHEET NO. 2-3

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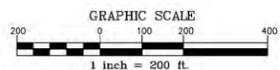
GENERAL NOTES

- SEE SHEET 2 FOR LINE AND CURVE TABLES.
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**PRELIMINARY PLAT
NOT FOR RECORDATION
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- LEGEND**
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- STORM DRAIN PIPE
 - OU OVERHEAD UTILITY LINES
 - W WATER LINE
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 - T TELEPHONE LINE
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 - UE UNDERGROUND ELECTRIC
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 - X — X — FENCE LINE



NC GRID NAD 83(2011)

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REVISIONS:

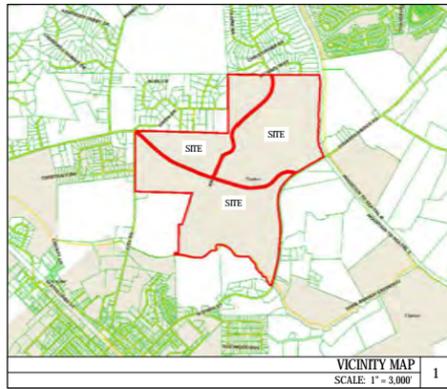
NO.	DATE	DESCRIPTION

SURVEY FOR:
WAKEFIELD DEVELOPMENT CO.
3100 SMOKETREE COURT,
SUITE 210
RALEIGH, NORTH CAROLINA
27604

**STEEPLECHASE
(EARP PROPERTY)**
TOWN OF CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA
TOPOGRAPHIC SURVEY

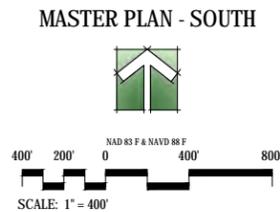
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FILENAME	WDL14000-C1
SURVEYED BY	RTF
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SCALE	1"=200'
DATE	10-29-2014
SHEET NO.	3-3

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LEGEND:

	ACTIVE RECREATIONAL OPEN SPACE
	PASSIVE OPEN SPACE
	RIPARIAN BUFFERS AND FLOODPLAIN
	20' TYPE "C" PERIMETER BUFFER
	RESIDENTIAL USE <ul style="list-style-type: none"> • SMALL LOT SINGLE FAMILY (DETACHED) • MEDIUM LOT SINGLE FAMILY (DETACHED) • LARGE LOT SINGLE FAMILY (DETACHED) • ATTACHED SINGLE FAMILY
	RESIDENTIAL USE <ul style="list-style-type: none"> • TOWNHOMES
	RESIDENTIAL USE <ul style="list-style-type: none"> • CONDOMINIUMS • APARTMENTS / TOWNHOME OPTION
	COMMERCIAL



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PSD 2014-128 & PDD 2014-127

Galaxy NC, LLC
c/o Wakefield Development Company
Steeplechase Subdivision
1162 Covered Bridge Road
Clayton, Johnston County, North Carolina 27520

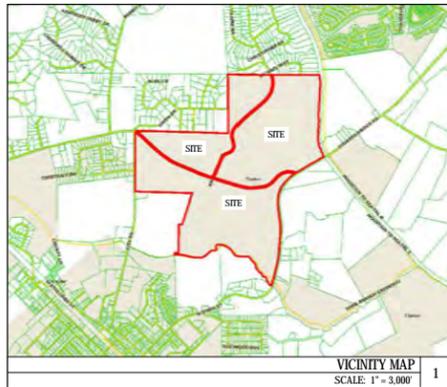
Preliminary Plat Review
(Major Subdivision)
Not for Construction

PROJECT:	ISSUE:	DATE:
WDC-14080	Prelim. Plat (Maj Sub)	10.01.2014
REVISIONS:		
1st Review Comments		10.24.2014
2nd Review Comments		11.10.2014
3rd Review Comments		01.07.2015
4th Review Comments		01.14.2015
5th Review Comments		01.20.2015
6th Review Comments		02.13.2015
7th Review Comments		02.23.2015

DRAWN BY: KT, SB
CHECKED BY: KT
CONTENT: MASTER PLAN - SOUTH

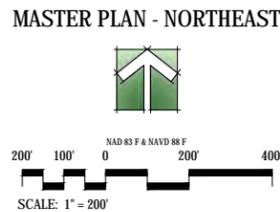
4A

Page 154 of 214



LEGEND:

	ACTIVE RECREATIONAL OPEN SPACE
	PASSIVE OPEN SPACE
	RIPARIAN BUFFERS AND FLOODPLAIN
	20' TYPE "C" PERMETER BUFFER
	RESIDENTIAL USE <ul style="list-style-type: none"> • SMALL LOT SINGLE FAMILY (DETACHED) • MEDIUM LOT SINGLE FAMILY (DETACHED) • LARGE LOT SINGLE FAMILY (DETACHED) • ATTACHED SINGLE FAMILY
	RESIDENTIAL USE <ul style="list-style-type: none"> • TOWNHOMES
	RESIDENTIAL USE <ul style="list-style-type: none"> • CONDOMINIUMS • APARTMENTS / TOWNHOME OPTION
	COMMERCIAL



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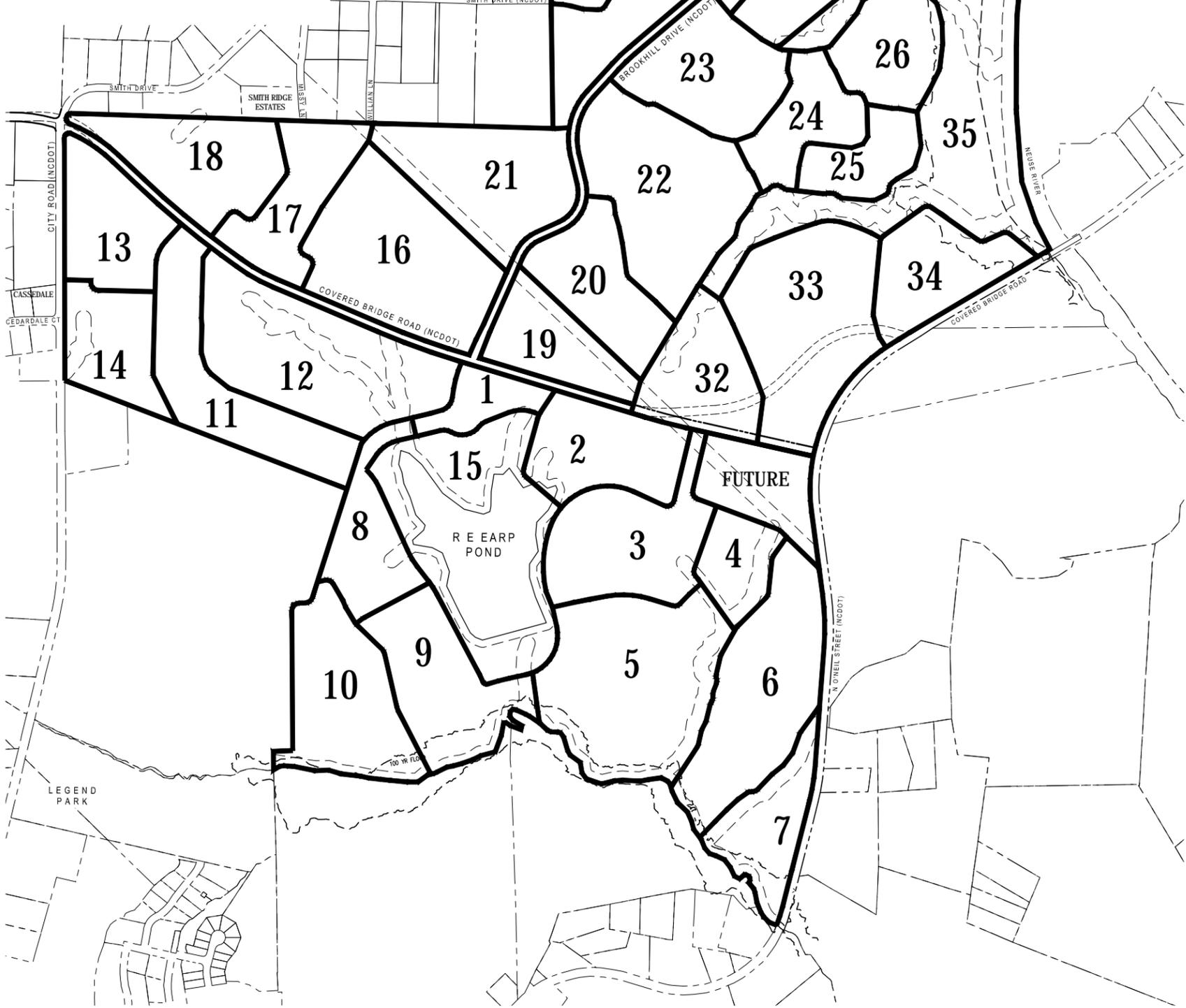
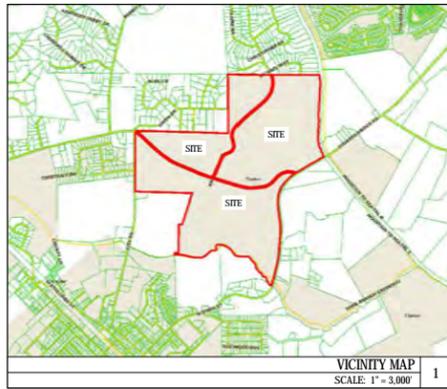
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	5th Review Comments	01.20.2015	
	6th Review Comments	02.13.2015	
	7th Review Comments	02.23.2015	

DRAWN BY: KT, SB
CHECKED BY: KT
CONTENT: MASTER PLAN - NORTHEAST

4C

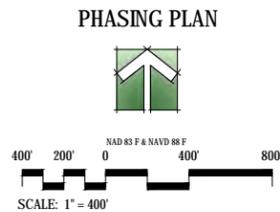
Page 156 of 214



NOTES:
 THE CLUBHOUSE PERMIT SHALL BE
 REQUIRED PRIOR TO THE 251ST
 BUILDING PERMIT.

PHASE	ACRES IN AC
1	+/- 5.49
2	+/- 14.14
3	+/- 18.55
4	+/- 7.22
5	+/- 30.99
6	+/- 24.39
7	+/- 11.13
8	+/- 11.07
9	+/- 17.67
10	+/- 19.37
11	+/- 18.62
12	+/- 28.15
13	+/- 13.10
14	+/- 11.06
15	+/- 34.64
16	+/- 26.68
17	+/- 12.45
18	+/- 16.36
19	+/- 10.78
20	+/- 13.79
21	+/- 19.64
22	+/- 26.53
23	+/- 16.57
24	+/- 10.32
25	+/- 7.94
26	+/- 11.46
27	+/- 10.26
28	+/- 12.84
29	+/- 9.50
30	+/- 23.60
31	+/- 25.11
32	+/- 13.42
33	+/- 27.16
34	+/- 13.00
35	+/- 54.25
FUTURE	+/- 9.89
TOTAL	+/- 637.13

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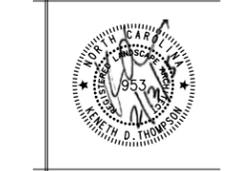


PHASING PLAN

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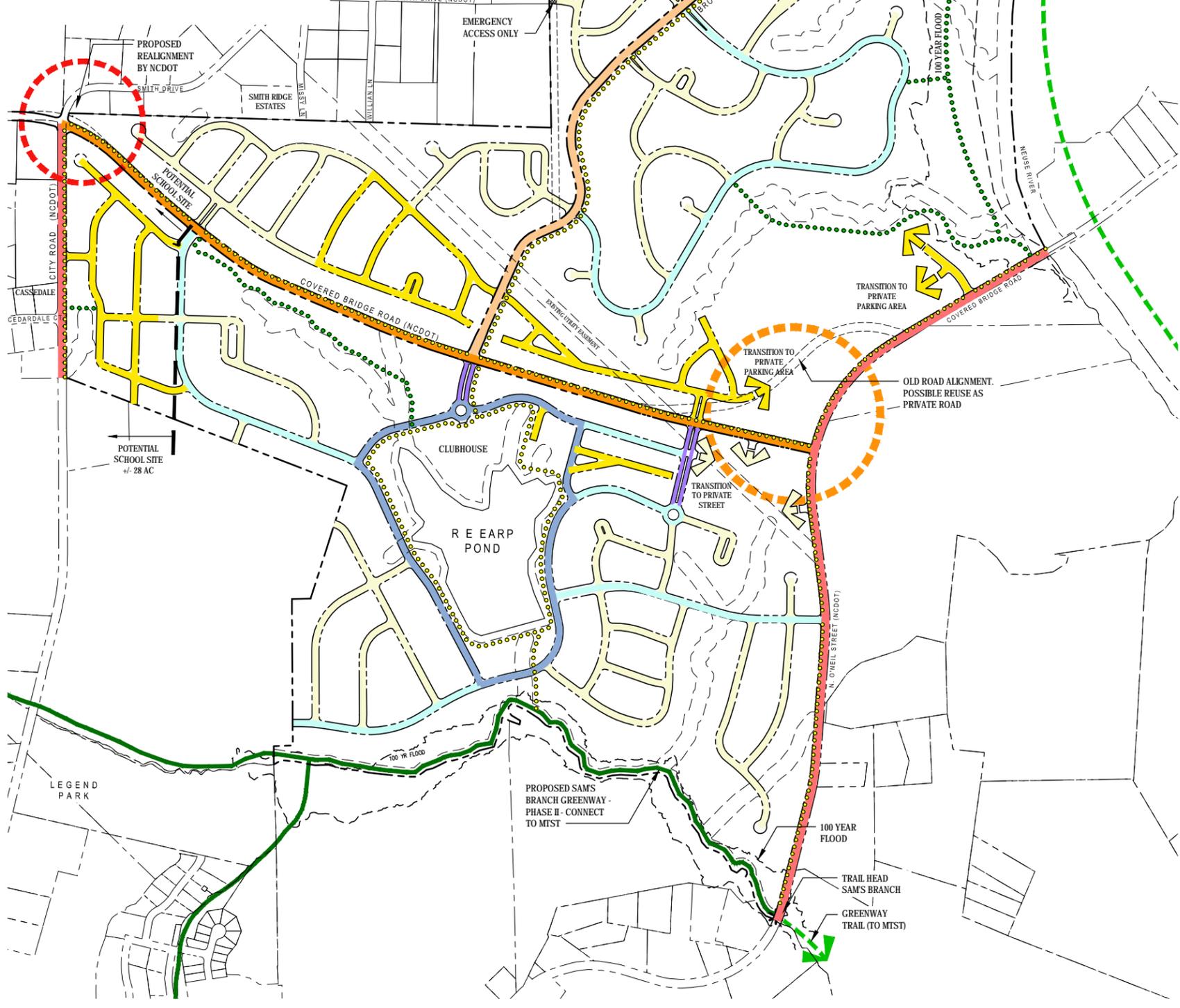
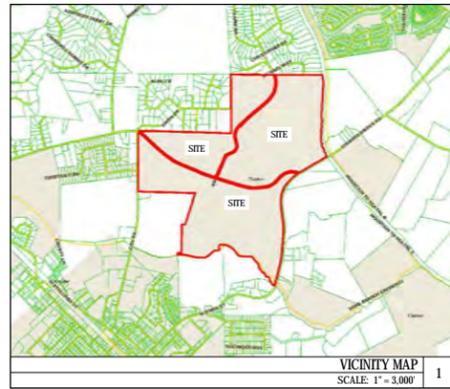
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 PSD 2014-128 & PDD 2014-127

Galaxy NC, LLC
 c/o Wakefield Development Company
Steeplechase Subdivision
 1162 Covered Bridge Road
 Clayton, Johnston County, North Carolina 27520



**Preliminary Plat
 Review
 (Major Subdivision)
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	6th Review Comments	02.13.2015	
	7th Review Comments	02.23.2015	
DRAWN BY:	KT, SB		
CHECKED BY:	KT		
CONTENT:	PHASING PLAN		



- WAIVER REQUESTS:**
- ALL INTERNAL STREETS WILL HAVE SIDEWALK ON AT LEAST ONE SIDE TO PROVIDE A NETWORK OF PEDESTRIAN ACCESS THROUGHOUT THE SITE AND CONNECTION TO THE PRIVATE INTERNAL GREENWAY THAT WILL CONNECT TO THE FUTURE SAM'S BRANCH GREENWAY EXTENSION.
 - THIS PROPOSAL REQUESTS THAT IN ALL STREET SECTIONS, STANDARD CURB AND GUTTER CAN BE INTERCHANGED WITH TOWN OF CLAYTON VALLEY CURB AND GUTTER OR ROLLED CURB AND GUTTER.
 - *3 PROPOSED RESIDENTIAL STREET WITH CAL-DE-SAC EXCEEDS TOWN OF CLAYTON MAXIMUM LENGTH. REQUEST APPROVAL OF 1,000 LF CAL-DE-SAC.
 - THIS PROPOSAL REQUESTS THAT ALL PLANTER STRIPS BE INCREASED TO 6' WIDE AND THAT TREE SPECIES ARE TO BE APPROVED BY THE PLANNING DIRECTOR.

- STREET TREES NOTES:**
- STREET STREET TREES MUST BE PLACED A MAXIMUM OF 60 FEET APART
 - ALL STREET TREES WILL BE CANOPY TREES (AS IS REQUIRED BY THE CODE).

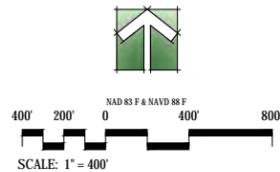
REFER SHEET 8 OF 8 FOR STREET WAIVER REQUESTS

- LEGEND:**
- PROPOSED ROAD REALIGNMENT BY DEVELOPER
 - PROPOSED ROAD REALIGNMENT BY NCDOT
 - BROOKHILL DRIVE (EXISTING NCDOT)
 - EXISTING COVERED BRIDGE ROAD (NCDOT)
 - EXISTING COLLECTOR STREET
 - N. O'NEIL STREET (NCDOT)
 - CITY ROAD (NCDOT)
 - EARP POND ROAD COLLECTOR
 - RESIDENTIAL COLLECTOR STREET (PUBLIC)
 - RESIDENTIAL MAIN ENTRANCE
 - RESIDENTIAL STREET (PUBLIC)
 - RESIDENTIAL STREET (PRIVATE)
 - PROPOSED SAM'S BRANCH - PHASE II BY OTHERS
 - EXISTING GREENWAY
 - CLAYTON RIVER WALK
 - SAM'S BRANCH GREENWAY
 - PROPOSED PRIVATELY MAINTAINED GREENWAY
 - PROPOSED PUBLIC 10' MULTI-PUPOSE TRAIL
 - COVERED BRIDGE ROAD
 - N. O'NEIL STREET
 - CITY ROAD
 - BROOKHILL DRIVE

NOTE:

THE INTERNAL STREET SYSTEM AS DEPICTED IS CONCEPTUAL ONLY TO SHOW GENERAL DESIGN AND CONNECTIVITY, AND THAT ACTUAL ALIGNMENT MAY CHANGE DURING FINAL PLAT DESIGN. THE EXCEPTION IS MODIFICATION OF CONNECTION POINTS TO EXTERNAL ROADWAY NETWORKS AND MAJOR ENTRANCES TO THE DEVELOPMENT, WHICH CONSTITUTE A MAJOR MODIFICATION AND MUST BE APPROVED BY THE TOWN COUNCIL.

VEHICULAR & PEDESTRIAN CIRCULATION PLAN



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	7th Review Comments	02.23.2015	
DRAWN BY:	KT, SB		
CHECKED BY:	KT		
CONTENT:	VEHICULAR & PEDESTRIAN CIRCULATION PLAN		



Transportation Impact Analysis

Steeplechase Mixed-Use Development Clayton, NC

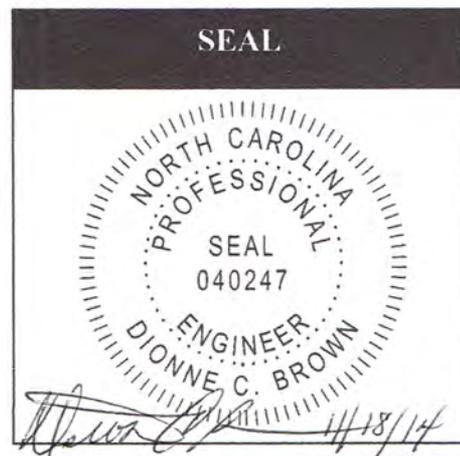
Prepared for Galaxy NC, LLC/ CO/
Wakefield Development Co.
November 6, 2014

Analysis by: Dionne C. Brown, P.E.

Drafting/Graphics by: Dionne C. Brown, P.E.

Reviewed by: Mary Morgan, P.E.

Sealed by: Dionne C. Brown, P.E.



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**Steeplechase Mixed-Use Development – Transportation Impact Analysis
Clayton, NC
Prepared for Galaxy NC, LLC/ CO/ Wakefield Development Co.
November 6, 2014**

Executive Summary

The proposed Steeplechase Mixed-Use Development is located along Covered Bridge Road bordered by City Road and O'Neil Street in Clayton, North Carolina. The site is proposed to have access points on Covered Bridge Road, O'Neil Street and Brookhill Drive. The site plan is shown in Figure 1. This study analyzes two phases for the property's development. Phase 1 is located south of Covered Bridge Road and Phase 2 is located north of Covered Bridge Road and includes the proposed retail uses at the southwest corner of Covered Bridge Road and O'Neil Street.

Phase 1 development assumed 498 single family dwelling units and 320 townhome dwelling units. This phase of development is envisioned to be completed in 2017. This phase will utilize three (3) access points on Covered Bridge Road and one (1) access point on O'Neil Street.

Full Build development (including Phase 1) was assumed to have a total of 1,118 single family dwelling units, 643 townhome dwelling units, 344 apartment dwelling units and 25,000 square feet of retail. This phase of development is envisioned to be completed in 2019.

It should be noted that the land uses, phasing, and build out date estimates were established for analytical purposes and do not necessarily represent a prediction of the development schedule.

DAVENPORT was retained to determine the potential traffic impacts of this development and to identify transportation improvements that may be required to accommodate the impacts of both background traffic and new development traffic. The following intersections were included in the study:

1. Covered Bridge Road at City Road/ Smith Drive
2. Covered Bridge Road at Site Access 1
3. Covered Bridge Road at Brookhill Drive/ Site Access 2
4. Covered Bridge Road at Site Access 3
5. Covered Bridge Road at O'Neil Street
6. O'Neil Street at Site Access 4
7. Covered Bridge Road at Site Access 5
8. Covered Bridge Road at Site Access 6
9. Brookhill Drive at Site Access 7
10. Brookhill Drive at Site Access 8
11. Brookhill Drive at Site Access 9
12. Brookhill Drive at Site Access 10
13. Brookhill Drive at Site Access 11
14. Covered Bridge Road at Shotwell Road

According to the site plan there are an additional five (5) access points along state maintained roads, one (1) on Covered Bridge Road and four (4) on Brookhill Drive. These roads are designed into a network of residential streets that have other outlets to the main corridor. Since the majority of this development is residential and is the primary generator of traffic, it was assumed that the percentage of traffic would be low at these access points. Therefore, the study intersections were narrowed down to the major access points on the state maintained roads.

The study intersections were analyzed during AM (7-9) and PM (4-6) peaks for the following conditions:

- 2014 Existing Conditions
- 2017 Future No Build Conditions
- 2017 Phase 1 Build-Out Conditions
- 2017 Phase 1 Build-Out with Improvements (as necessary)
- 2019 Future No Build Conditions
- 2019 Full Build-Out Conditions
- 2019 Full Build-Out with Improvements (as necessary)

NCDOT was contacted to obtain background information and to ascertain the elements to be covered in this Transportation Impact Analysis (TIA). Information regarding the property was provided by Wakefield Development Co.

Phase 1 - Discussion of Results

The following section discusses 2017 Phase 1 level of service for each intersection.

Covered Bridge Road at City Road/ Smith Drive

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Phase 1 site traffic, LOS C is expected in the AM and PM peak. No improvements are recommended.

Covered Bridge Road at Site Access 1

In Phase 1 Build conditions, this intersection is expected to operate at LOS C in the AM and PM peaks. No improvements are recommended.

Covered Bridge Road at Brookhill Drive/ Site Access 2

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Phase 1 site traffic, LOS C is expected in the AM peak and LOS D in the PM peak. No improvements are recommended.

Covered Bridge Road at Site Access 3

This intersection is expected to operate at LOS C in the AM and PM peaks during Phase 1 future build conditions. Based on projected volumes, an eastbound right turn lane and westbound left turn lane will be warranted on Covered Bridge Road. In order to facilitate turning movements in and out of this site access, the following improvements are recommended:

- Provide eastbound right turn lane with 100 feet of storage and appropriate taper
- Provide westbound left turn lane with 100 feet of storage and appropriate taper
- Provide northbound right turn lane with 100 feet of storage and appropriate taper

With these improvements, this intersection is expected to operate at LOS B in the AM peak and LOS C in the PM peak.

Covered Bridge Road at O'Neil Street

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS C in the AM peak and LOS F in the PM peak. This LOS F condition is due to a lack of sufficient gaps for left-turning vehicles from the stop-controlled approach, which is the result of conflicting traffic volumes on O'Neil Street. With the addition of Phase 1 site traffic, LOS D is expected in the AM peak and LOS F in the PM peak.

This intersection is anticipated to operate at a deficient level of service regardless of the proposed development. In order to improve the operation of this intersection, the following improvements are recommended:

- Provide northbound left turn lane with 100 feet of storage and appropriate taper
- Provide southbound right turn lane with 100 feet of storage and appropriate taper
- Provide eastbound right turn lane with 100 feet of storage and appropriate taper
- Realignment as depicted in the site plan

With these improvements, this intersection is expected to operate at LOS C in the AM peak and LOS F in the PM peak, reducing the AM delay by 9.7 seconds and the PM delay by 125.6 seconds. The LOS F condition is anticipated to be limited to the peak hour and the SimTraffic model results indicate that there are no queuing issues.

O'Neil Street at Site Access 4

In Phase 1 Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

Covered Bridge Road at Shotwell Road

In 2017 future no build conditions, this unsignalized intersection is expected to operate at LOS E in the AM peak and LOS F in the PM peak. With the addition of Phase 1 site traffic, LOS F is expected in the AM and PM peaks.

As further discussed in the report, the existing traffic volumes at this intersection indicate that a signal is currently warranted. Therefore, in order to improve the operation and safety of this intersection, the following improvements are recommended:

- Signalize the intersection
- Provide northbound right turn lane with 200 feet of storage and appropriate taper
- Provide southbound left turn lane with 200 feet of storage and appropriate taper
- Restripe westbound lane to provide right turn lane with 100 feet of storage

With these improvements, this intersection is expected to operate at LOS C in the AM peak and LOS B in the PM peak.

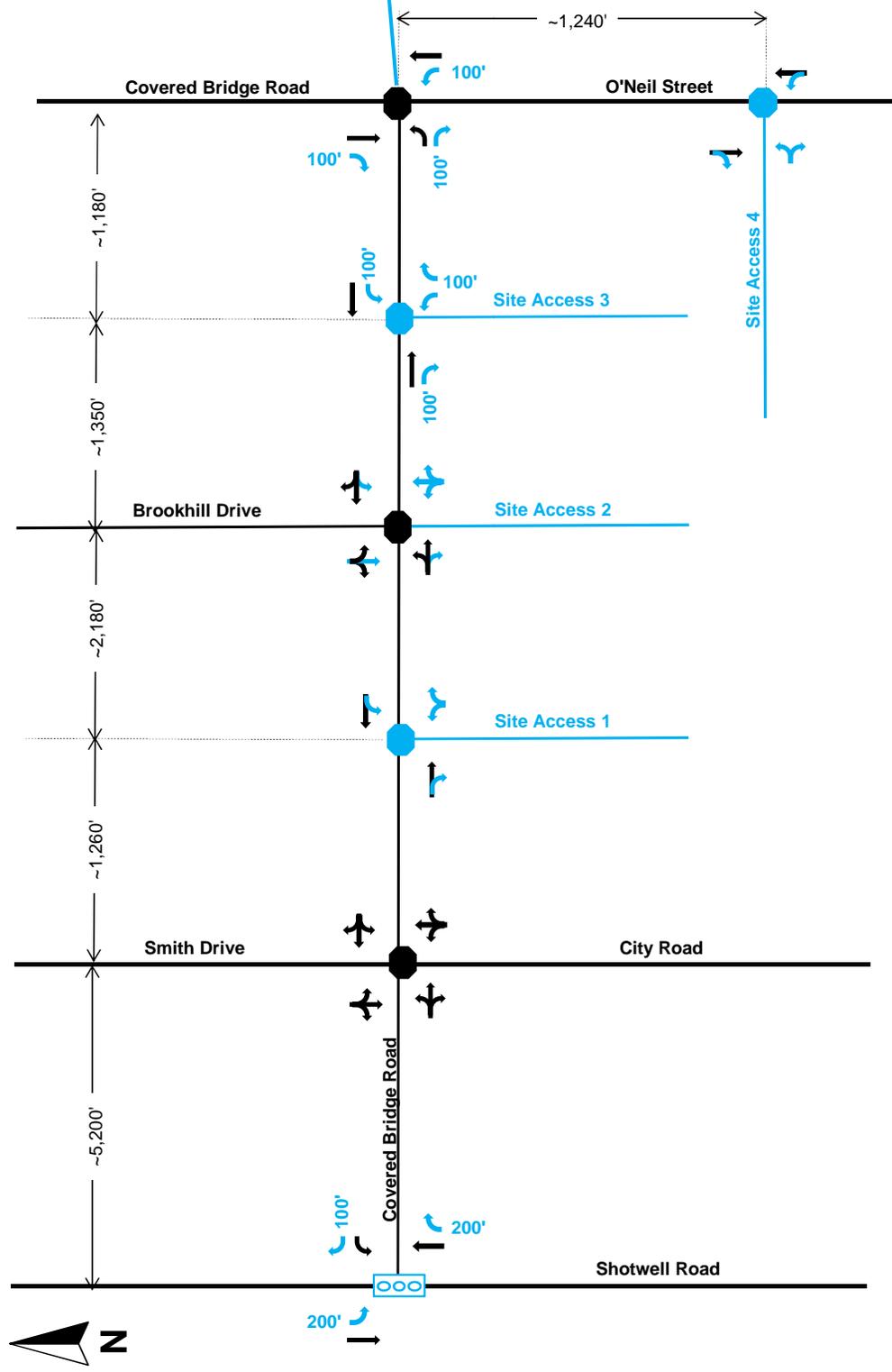
Improvements are illustrated in Figure 9 for Phase 1.

LEGEND	
	SIGNALIZED INTERSECTION
	UNSIGNALIZED INTERSECTION
	ROADWAY
	TRAFFIC MOVEMENT
	BLACK = EXISTING
	GREY = UNANALYZED
	BLUE = PROPOSED

FIGURE 9
PHASE 1 BUILD
RECOMMENDED
IMPROVEMENTS

STEEPLECHASE MIXED-USE DEVELOPMENT

PROJECT NUMBER 14-425



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*** NOT TO SCALE ***

Phase 1 Level of Service Summary

Table A presents the summary of the level of service analysis for all study intersections.

Table A - Level of Service Summary – Phase 1 Build Conditions				
AM Peak	2014 Existing	2017 Future No Build	2017 Phase 1 Build	2017 Phase 1 Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.4) SB Approach	B (12.8) SB Approach	C (18.8) SB Approach	
Covered Bridge Road at Site Access 1			C (17.4) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (11.1) SB Approach	B (11.3) SB Approach	C (21.8) NB Approach	
Covered Bridge Road at Site Access 3			C (15.7) NB Approach	B (13.9) NB Approach
Covered Bridge Road at O'Neil Street	C (16.8) EB Approach	C (18.0) EB Approach	D (27.1) EB Approach	C (17.4) EB Approach
O'Neil Street at Site Access 4			B (12.6) EB Approach	
Covered Bridge Road at Shotwell Road	D (31.0) WB Approach	E (40.5) WB Approach	F (266.0) WB Approach	C (23.5) Signalized
PM Peak	2014 Existing	2017 Future No Build	2017 Phase 1 Build	2017 Phase 1 Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.6) NB Approach	B (13.1) NB Approach	C (18.4) SB Approach	
Covered Bridge Road at Site Access 1			C (21.3) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (12.0) SB Approach	B (12.3) SB Approach	D (31.6) NB Approach	
Covered Bridge Road at Site Access 3			C (20.2) NB Approach	C (16.9) NB Approach
Covered Bridge Road at O'Neil Street	F (68.9) EB Approach	F (104.1) EB Approach	F (254.7) EB Approach	F (129.1) EB Approach
O'Neil Street at Site Access 4			B (14.5) EB Approach	
Covered Bridge Road at Shotwell Road	E (38.0) WB Approach	F (50.9) WB Approach	F (426.5) WB Approach	B (16.4) Signalized
LOS (delay in seconds)				
Note for unsignalized conditions, LOS and delay indicates only minor street approach with longest delay				

Full Build Discussion of Results

The following section discusses 2019 Full Build level of service for each intersection.

Covered Bridge Road at City Road/ Smith Drive

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Full Build site traffic, LOS F is expected in the AM and PM peak. This LOS F condition is typical for minor streets at unsignalized intersections. The delays are expected to be minimal and limited to the peak periods. Therefore, no improvements are recommended.

Covered Bridge Road at Site Access 1

In Full Build conditions, this intersection is expected to operate at LOS E in the AM peak and LOS F in the PM. The LOS E/F condition is typical for minor streets at unsignalized intersections. The delays are expected to be minimal and limited to the peak periods. In addition, site traffic will have the opportunity to utilize other site access points, including signals, which will serve as a relief valve should the delay be excessive. Therefore, no improvements are recommended.

Covered Bridge Road at Brookhill Drive/ Site Access 2

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. With the addition of Full Build site traffic, LOS F is expected in the AM and PM peaks. In order to improve the operation of this intersection, it is recommended to:

- Signalize the intersection
- Provide an eastbound left turn lane of 400 feet of storage with appropriate taper
- Provide a westbound left turn lane of 150 feet of storage with appropriate taper
- Provide a northbound left turn lane of full storage and a through-right turn lane of 100 feet of storage with appropriate taper
- Provide a southbound full storage for left turn and through-right turn lanes

With these improvements, it is expected to operate at LOS D in the AM and PM peaks.

Covered Bridge Road at Site Access 3

With the recommended improvement in place from Phase 1, this intersection is expected to operate at LOS C in the AM peak and LOS D in the PM peak. No additional improvements are recommended.

Covered Bridge Road at O'Neil Street

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS C in the AM peak and LOS F in the PM peak. With the addition of Full Build site traffic, LOS E is expected in the AM peak and LOS F in the PM peak with the improvements in place from Phase 1. It is recommended to signalize this intersection in order to accommodate future traffic volumes.

With this improvement, this intersection is expected to operate at LOS B in the AM and PM peaks.

O'Neil Street at Site Access 4

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM peak and LOS C in the PM peak. No improvements are recommended.

Covered Bridge Road at Site Access 5

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM peak and LOS C in the PM peak. No improvements are recommended.

Covered Bridge Road at Site Access 6

In Full Build conditions, this unsignalized intersection is expected to operate at LOS D in the AM peak and LOS E in the PM peak. A LOS E is typical for minor streets at unsignalized intersections, but delays are expected to be minimal. Therefore, no improvements are recommended.

Brookhill Drive at Site Access 7

In Full Build conditions, this unsignalized intersection is expected to operate at LOS C in the AM and PM peaks. No improvements are recommended.

Brookhill Drive at Site Access 8

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM peak and LOS A in the PM peak. No improvements are recommended.

Brookhill Drive at Site Access 9

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

Brookhill Drive at Site Access 10

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

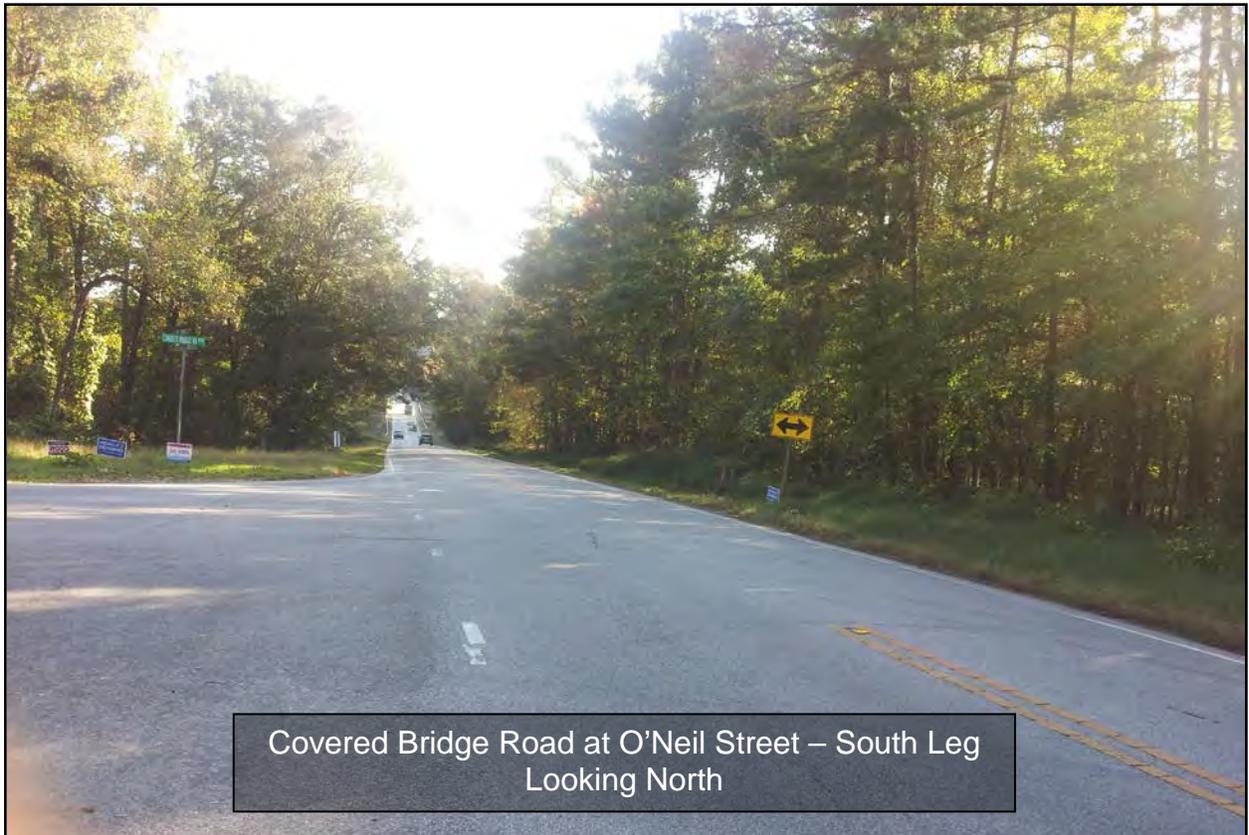
Brookhill Drive at Site Access 11

In Full Build conditions, this unsignalized intersection is expected to operate at LOS B in the AM and PM peaks. No improvements are recommended.

Covered Bridge Road at Shotwell Road

In 2019 future no build conditions, this unsignalized intersection is expected to operate at LOS F in the AM and PM peaks. With the recommended improvements in place from Phase 1, this intersection is expected to operate at LOS D in the AM peak and LOS C in the PM peak.

Improvements are illustrated in Figure 14 for Full Build.

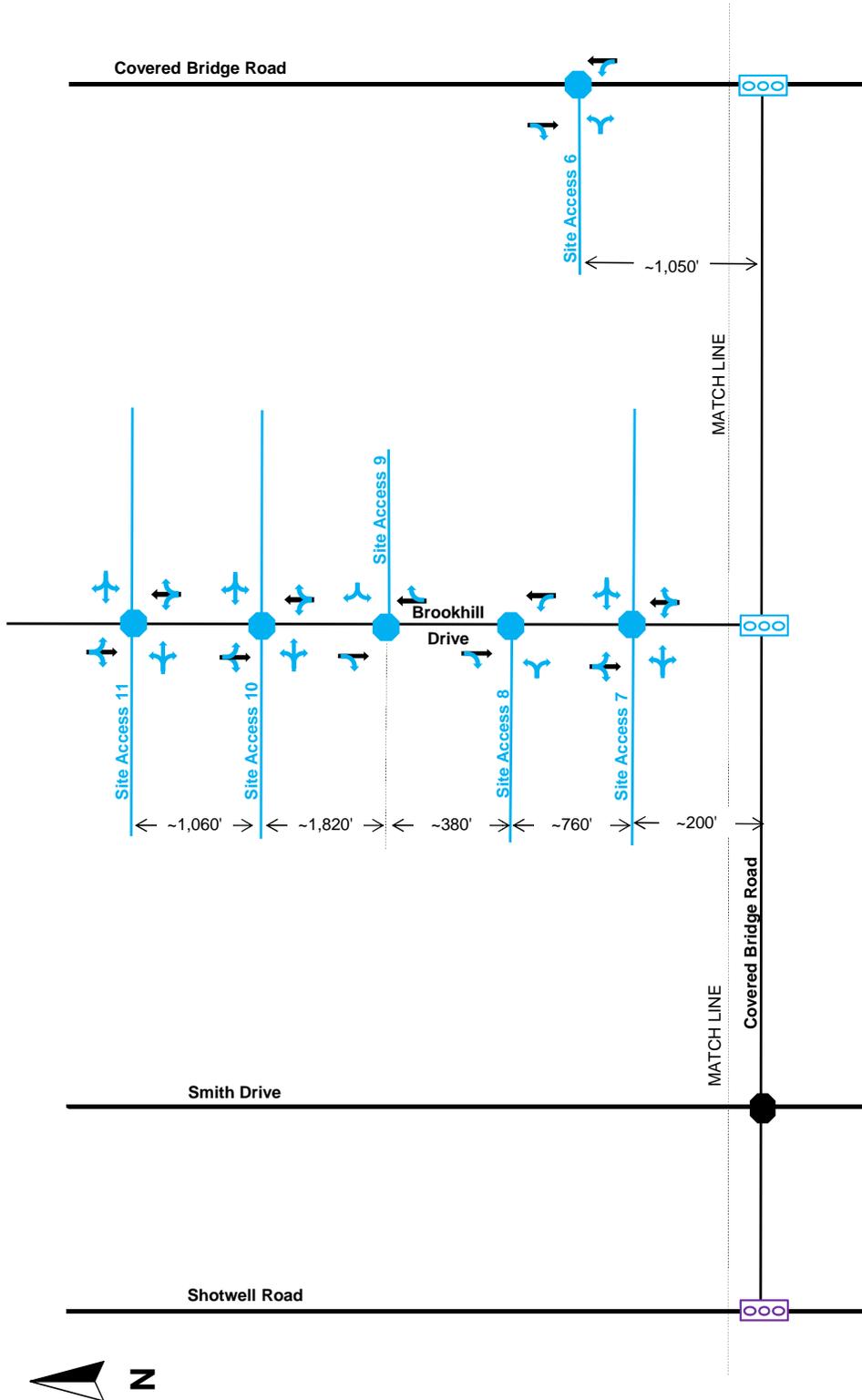


LEGEND	
	SIGNALIZED INTERSECTION
	UNSIGNALIZED INTERSECTION
	ROADWAY
	TRAFFIC MOVEMENT
	BLACK = EXISTING
	GREY = UNANALYZED
	PURPLE = PHASE 1
	BLUE = PROPOSED

FIGURE 14
FULL BUILD
RECOMMENDED
IMPROVEMENTS

STEEPLECHASE MIXED-USE
DEVELOPMENT

PROJECT NUMBER 14-425



This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of, or improper reliance on, this document by others without written authorization and adaptation by DAVENPORT shall be without liability to DAVENPORT and shall be a violation of the agreement between DAVENPORT and the client.

*** NOT TO SCALE ***

Full Build Level of Service Summary

Table B presents the summary of the level of service analysis for all study intersections.

Table B - Level of Service Summary – Full Build Conditions				
AM Peak	2014 Existing	2019 Future No Build	2019 Full Build	2019 Full Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.4) SB Approach	B (13.1) SB Approach	F (50.8) SB Approach	
Covered Bridge Road at Site Access 1			E (42.5) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (11.1) SB Approach	B (11.5) SB Approach	F (Err) NB Approach	D (44.5) Signalized
Covered Bridge Road at Site Access 3			C (17.5) NB Approach	
Covered Bridge Road at O'Neil Street	C (16.8) EB Approach	C (19.0) EB Approach	E (37.9) EB Approach	B (12.9) Signalized
O'Neil Street at Site Access 4			B (13.1) EB Approach	
Covered Bridge Road at Site Access 5			B (14.7) SB Approach	
Covered Bridge Road at Site Access 6			D (31.1) EB Approach	
Brookhill Drive at Site Access 7			C (15.7) WB Approach	
Brookhill Drive at Site Access 8			B (10.5) EB Approach	
Brookhill Drive at Site Access 9			B (11.2) WB Approach	
Brookhill Drive at Site Access 10			B (11.6) WB Approach	
Brookhill Drive at Site Access 11			B (10.3) WB Approach	
Covered Bridge Road at Shotwell Road	D (31.0) WB Approach	F (50.5) WB Approach	D (44.5) Signalized	

LOS (delay in seconds)
Note for unsignalized conditions, LOS and delay indicates only minor street approach with longest delay

Table B - Level of Service Summary – Full Build Conditions cont.

PM Peak	2014 Existing	2019 Future No Build	2019 Full Build	2019 Full Build + Improvements
Covered Bridge Road at City Road/ Smith Drive	B (12.6) NB Approach	B (13.4) NB Approach	F (61.5) SB Approach	
Covered Bridge Road at Site Access 1			F (66.7) NB Approach	
Covered Bridge Road at Brookhill Drive/ Site Access 2	B (12.0) SB Approach	B (12.6) SB Approach	F (Err) NB Approach	D (41.1) Signalized
Covered Bridge Road at Site Access 3			D (33.8) NB Approach	
Covered Bridge Road at O'Neil Street	F (68.9) EB Approach	F (139.1) EB Approach	F (406.3) EB Approach	B (18.5) Signalized
O'Neil Street at Site Access 4			C (15.1) EB Approach	
Covered Bridge Road at Site Access 5			C (17.8) SB Approach	
Covered Bridge Road at Site Access 6			E (48.5) EB Approach	
Brookhill Drive at Site Access 7			C (17.4) WB Approach	
Brookhill Drive at Site Access 8			A (9.3) EB Approach	
Brookhill Drive at Site Access 9			B (11.7) WB Approach	
Brookhill Drive at Site Access 10			B (12.5) WB Approach	
Brookhill Drive at Site Access 11			B (10.9) WB Approach	
Covered Bridge Road at Shotwell Road	E (38.0) WB Approach	F (64.7) WB Approach	C (21.7) Signalized	

LOS (delay in seconds)

Note for unsignalized conditions, LOS and delay indicates only minor street approach with longest delay

Summary and Conclusion

DAVENPORT was retained to determine the potential traffic impacts of this development and to identify transportation improvements that may be required to accommodate the impacts of both background traffic and new development traffic.

The proposed Steeplechase Mixed-Use Development is located along Covered Bridge Road bordered by City Road and O'Neil Street in Clayton, North Carolina. The land uses, phasing, and build out date estimates were established for analytical purposes and do not necessarily represent a prediction of the development schedule.

This study analyzes two phases for the property's development:

Phase 1 development assumed 498 single family dwelling units and 320 townhome dwelling units. This phase of development is envisioned to be completed in 2017. This phase will utilize three (3) access points on Covered Bridge Road and one (1) access point on O'Neil Street.

Full Build development (including Phase 1) was assumed to have a total of 1,118 single family dwelling units, 643 townhome dwelling units, 344 apartment dwelling units and 25,000 square feet of retail. This phase of development is envisioned to be completed in 2019.

Table C on the following page summarizes the recommended improvements for each Phase. Improvements are illustrated in Figure 9 and Figure 14 for Phase 1 and Full Build, respectively.

In conclusion, this study has reviewed the impacts of both background traffic and this development traffic, and has determined that with the recommended improvements in place, there will be adequate capacity to accommodate future traffic. The final design of these improvements will need to be coordinated during the site plan approval process.

Please note that all accesses to the site are required to be constructed to NCDOT standards where applicable.

Table C - Recommended Improvement Summary

Intersection	Phase 1	Full Build
Covered Bridge Road at Brookhill Drive/ Site Access 2	No improvements	<ul style="list-style-type: none"> • Signalize intersection • Provide eastbound left turn lane of 400 feet of storage with appropriate taper • Provide westbound left turn lane of 150 feet of storage with appropriate taper • Provide a northbound left turn lane of full storage and a through-right turn lane of 100 feet of storage with appropriate taper • Provide a southbound full storage for left turn and through-right turn lanes
Covered Bridge Road at Site Access 3	<ul style="list-style-type: none"> • Provide eastbound right turn lane of 100 feet of storage with appropriate taper • Provide westbound left turn lane of 100 feet of storage with appropriate taper • Provide separate northbound right turn lane of 100 feet of storage with appropriate taper 	No additional improvements
Covered Bridge Road at O'Neil Street	<ul style="list-style-type: none"> • Provide northbound left turn lane of 100 feet of storage with appropriate taper • Provide southbound right turn lane of 100 feet of storage with appropriate taper • Provide eastbound right turn lane of 100 feet of storage with appropriate taper • Realignment as depicted in site plan 	<ul style="list-style-type: none"> • Signalize intersection
Covered Bridge Road at Shotwell Road	<ul style="list-style-type: none"> • Signalize intersection • Provide northbound left turn lane of 200 feet of storage with appropriate taper • Provide southbound right turn lane of 200 feet of storage with appropriate taper • Restripe westbound lane to provide right lane with 100 feet of storage and appropriate taper 	No additional improvements

***All other intersections require no improvements**



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION



TRANSPORTATION MOBILITY AND SAFETY DIVISION
 TRAFFIC MANAGEMENT UNIT
 CONGESTION MANAGEMENT SECTION

January 20, 2015

Traffic Impact Analysis Review Report
Steeplechase Development

TIA Project: SC-2014-064
Division: 4
County: Johnston
Description: Steeplechase Development on SR 1700 (Covered Bridge Rd) at SR 1708 (O'Neal St) in Clayton



BenJetta L. Johnson, P. E.
 Congestion Management Regional Engineer
Solomon Mengesha
 Congestion Management Project Design Engineer

Steeplechase Development

SC-2014-064	Johnston County	01/20/2015
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Per your request, the Congestion Management Section (CMS) of the Transportation Mobility and Safety Division has completed a review of the subject site. The comments and recommendations contained in this review are based on data presented in the sealed Traffic Impact Analysis (TIA) and are subject to the approval of the local District Engineer's Office and appropriate local authorities.

Date Initially Received by CMS	11/19/2014	Date of Site Plan Prepared by Galaxy NC, LLC	10/01/2014
Date of Complete Information for Project Received by CMS	12/02/2014		
Date of Preliminary Review Letter Accepting TIA for Review	12/04/2014	Date of Sealed TIA Prepared by Davenport Engineering	11/18/2014

Proposed Development

According to the TIA, the proposed Steeplechase Mixed-Use Development is to be located on SR 1700 (Covered Bridge Rd) in Johnston County. The TIA states the development is to be constructed in two phases.

Phase 1 is to be constructed by 2017 and is to consist of the following:

Land Use	Land Use Code	Size
Single Family Detached Housing	210	498 Dwelling Unit
Townhomes/Condos	230	320 Dwelling Unit

Phase 2 is to be constructed by 2019 and is to consist of the following: (Total Build-out)

Land Use	Land Use Code	Size
Apartments	220	344 Dwelling Unit
Single Family Detached Housing	210	1,118 Dwelling Unit
Townhomes/Condos	230	643 Dwelling Unit
Shopping Center	820	25,000 Square Feet

Trip Generation – Phase 1 Unadjusted Volumes During a Typical Weekday

Based on appropriate methodology outlined in the *ITE Trip Generation Manual, 9th Ed.*

	IN	OUT	TOTAL
AM Peak Hour	112	377	489
PM Peak Hour	386	216	602
Daily Trips			6,369

Trip Generation – Phase 2 Unadjusted Volumes During a Typical Weekday

Based on appropriate methodology outlined in the *ITE Trip Generation Manual, 9th Ed.*

	IN	OUT	TOTAL
AM Peak Hour	313	947	1,260
PM Peak Hour	1,016	628	1,644
Daily Trips			17,892

Requested Access Points		
Driveway	Public Roadway	Access Type
1	SR 1700 (Covered Bridge Rd)	All-Movement
2	SR 1700 (Covered Bridge Rd)	All-Movement
3	SR 1700 (Covered Bridge Rd)	All-Movement
4	O'Neil Street	All-Movement
5	SR 1700 (Covered Bridge Rd)	All-Movement
6	SR 1700 Covered Bridge Rd)	All-Movement
7	Brookhill Drive	All-Movement (Denied)
8	Brookhill Drive	All-Movement
9	Brookhill Drive	All-Movement
10	Brookhill Drive	All-Movement
12	Brookhill Drive	All-Movement

TIP Projects in Study Area
 None In Area

Strategic Highway Corridors
 None In Area

TIA Comments
 The following items vary from our recommended practices:

- Cycle lengths used for one or more intersections were below the minimums recommended without further clarification or justification. Determination of the number of signal phases should follow NCDOT Signals and Geometrics procedures.
- For future analyses, the PEF should include a small amount of traffic where movement volumes are listed as zero. Otherwise Synchro will consider that movement a non-permissible movement.

General Reference
 For reference to various documents applicable to this review please reference the following link: <http://www.ncdot.org/doh/preconstruct/traffic/tepp/Topics/C-37/C-37.html>

Once the driveway permit has been approved and issued, a copy of the final driveway permit requirements should be forwarded to this office. If we can provide further assistance, please contact the Congestion Management Section at (919) 773-2800.

Recommendations

LEGEND

① Improvement by Developer. Congestion Management concurs with recommendation.
 ② Improvement by Developer. Additional or modified recommendations.

Phase 1 Scenario

SR 1700 (Covered Bridge Rd) and O'Neil Street Intersection

Poor LOS/excessive queuing is anticipated to persist after recommended developer mitigation on the EB approaches.

- **EB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①
- **NB O'Neil Street**
 - 100' Left-Turn Lane ①
- **SB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①

SR 1700 (Covered Bridge Rd) and Site Driveway #3 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - 100' Left-Turn Lane ①
- **NB Site Driveway #3**
 - Three-Lane Cross-Section: One Ingress, Two Egresses ①
 - Egress: Left-Turn Lane, Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and Brookhill Drive/Site Driveway #2 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Left/Thru Lane to Shared Left/Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru/Right Lane to Shared Left/Thru/Right Lane ①
- **NB Site Driveway #2**
 - Three-Lane Cross-Section: One Ingress, Two Egresses ②
 - Egress: Left-Turn Lane, Thru/Right-Turn Lane ②
 - 100' Internal Protected Stem ②
- **SB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Right-Turn Lane to Thru/Right Lane ①

SR 1700 (Covered Bridge Rd) and Site Driveway #1 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **NB Site Driveway #1**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and SR 1553 (Shotwell Rd) Intersection

New Signal

- **WB SR 1700 (Covered Bridge Rd)**
 - 200' Right-Turn Lane ②

- **NB SR 1553 (Shotwell Rd)**
 - 200' Right-Turn Lane ①
- **SB SR 1553 (Shotwell Rd)**
 - 200' Left-Turn Lane ①

O'Neil Street and Site Driveway #4 Intersection

- **NB O'Neil Street**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **SB O'Neil Street**
 - 50' Right-Turn Lane ②
- **EB Site Driveway #4**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

Phase 2 (Full Build-Out) Scenario

SR 1700 (Covered Bridge Rd) and O'Neil Street Intersection

New Signal

- **EB SR 1700 (Covered Bridge Rd)**
 - Dual Left-Turn Lanes (One 250', One Existing Continuous) ②
 - 100' Right-Turn Lane ①
- **NB O'Neil Street**
 - 100' Left-Turn Lane ①
 - Construct an additional Thru-Lane with a minimum of 800 feet of full storage ②
- **SB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①

SR 1700 (Covered Bridge Rd) and Site Driveway #5 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **NB Site Driveway #5**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and Site Driveway #3 Intersection

- **EB SR 1700 (Covered Bridge Rd)**
 - 100' Right-Turn Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - 100' Left-Turn Lane ①
- **NB Site Driveway #3**
 - Three-Lane Cross-Section: One Ingress, Two Egresses ①
 - Egress: Left-Turn Lane, Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and Brookhill Drive/Site Driveway #2 Intersection

New Signal

- **EB SR 1700 (Covered Bridge Rd)**
 - Dual 250' (Each) Left-Turn Lane ②
 - Restripe Existing Left/Thru Lane to Shared Left/Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - 150' Left-Turn Lane ①
- **NB Site Driveway #2**
 - Three-Lane Cross-Section: One Ingress, Two Egresses ①
 - Egress: Left-Turn Lane, Thru/Right-Turn Lane ①
 - 100' Internal Protected Stem ②
- **SB SR 1700 (Covered Bridge Rd)**
 - 100' Left-Turn Lane ②
 - Construct an additional Thru-Lane with a minimum of 800 feet of full storage ②
 - Restripe Existing Right-Turn Lane to Thru/Right Lane ①

SR 1700 (Covered Bridge Rd) and Site Driveway #1 Intersection

Poor LOS/excessive queuing is anticipated to persist after recommended developer mitigation on the NB approaches.

- **EB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **WB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **NB Site Driveway #1A**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right-Turn Lane ①
 - 100' Internal Protected Stem ②
- **SB Site Driveway #1B**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and SR 1709 (City Rd)/Smith Dr Intersection

- **WB SR 1700 (Covered Bridge Rd)**
 - 50' Left-Turn Lane ②

SR 1700 (Covered Bridge Rd) and SR 1553 (Shotwell Rd) Intersection

- **WB SR 1700 (Covered Bridge Rd)**
 - 200' Right-Turn Lane ②
 - Dual Left-Turn Lanes (One 250', One Existing Continuous) ②
- **NB SR 1553 (Shotwell Rd)**
 - 200' Right-Turn Lane ①
 - Construct an additional Thru-Lane with a minimum of 800 feet of full storage ②
- **SB SR 1553 (Shotwell Rd)**
 - 200' Left-Turn Lane ①

O'Neil Street and Site Driveway #4 Intersection

- **NB O'Neil Street**
 - 50' Right-Turn Lane ②
- **SB O'Neil Street**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **EB Site Driveway #4**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

SR 1700 (Covered Bridge Rd) and Site Driveway #6 Intersection

Poor LOS/excessive queuing is anticipated to persist after recommended developer mitigation on the EB approaches.

- **NB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **SB SR 1700 (Covered Bridge Rd)**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **EB Site Driveway #6**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

Brookhill Drive and Site Driveway #7 Intersection

Deny Driveway/Access

- Due to the close proximity to Brookhill Drive and SR 1700 (Covered Bridge Rd) signalized intersection, we recommend denying this Site Driveway ②

Brookhill Drive and Site Driveway #8 Intersection

- **NB Brookhill Drive**
 - 50' Left-Turn Lane ②
- **SB Brookhill Drive**
 - Restripe Existing Thru Lane to Thru/Right Lane ①
- **NB Site Driveway #8**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

Brookhill Drive and Site Driveway #9 Intersection

- **NB Brookhill Drive**
 - 50' Right-Turn Lane ②
- **SB Brookhill Drive**
 - Restripe Existing Thru Lane to Left/Thru Lane ①
- **WB Site Driveway #9**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Right-Turn Lane ①
 - 100' Internal Protected Stem ②

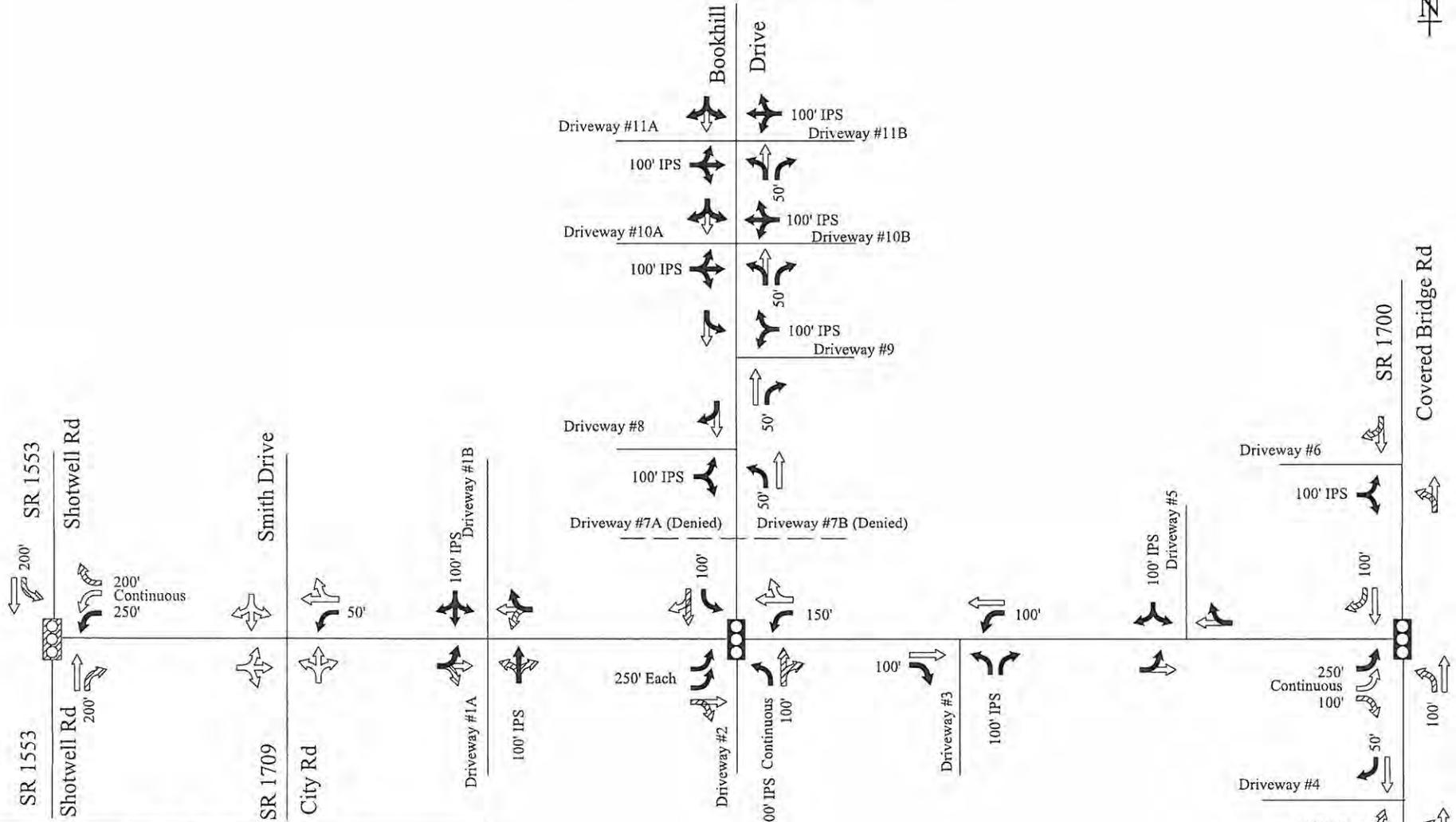
Brookhill Drive and Site Driveway #10 Intersection

- **NB Brookhill Drive**
 - 50' Right-Turn Lane ②
- **SB Brookhill Drive**
 - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **EB Site Driveway #10A**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right Lane ①
 - 100' Internal Protected Stem ②
- **WB Site Driveway #10B**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right Lane ①
 - 100' Internal Protected Stem ②

Brookhill Drive and Site Driveway #11 Intersection

- **NB Brookhill Drive**
 - 50' Right-Turn Lane ②
- **SB Brookhill Drive**
 - Restripe Existing Thru Lane to Left/Thru/Right Lane ①
- **EB Site Driveway #11A**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right Lane ①
 - 100' Internal Protected Stem ②
- **EB Site Driveway #11B**
 - Two-Lane Cross-Section: One Ingress, One Egress ①
 - Egress: Left/Thru/Right Lane ①
 - 100' Internal Protected Stem ②

Steeplechase Mixed Use Development SC-2014-064



LEGEND

- | | |
|---|--|
| <ul style="list-style-type: none"> Existing Laneage Recommended Laneage in Phase 1 Recommended Laneage in Phase 2 Storage | <ul style="list-style-type: none"> Proposed Signal in Phase 1 Proposed Signal in Phase 2 Internal Protected Stem |
|---|--|

Drawing Not to Scale

SM 2015-01-20



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

PAT MCCRORY
GOVERNOR

ANTHONY J. TATA
SECRETARY

January 29, 2015

DELIVERY VIA EMAIL

David L. DeYoung, AICP
Planning Director - Town of Clayton
PO Box 879
Clayton, NC 27528

COUNTY: Johnston

SUBJECT: **Preliminary TIA Review of Steeplechase Mixed Use Development Proposed on SR 1700 Covered Bridge Road, SR 1708 O'Neil Street, SR 1709 City Road and SR 2620 Brookhill Drive**

Dear Mr. DeYoung:

This office has reviewed the Traffic Impact Analysis (TIA) for the subject mixed use development and offers the following comments. Please be advised that these comments are in addition to any requirements that included in the Traffic Impact Analysis Review Report performed by the Congestion Management Section of the Transportation Mobility and Safety Division of NCDOT. This review should not be mistaken for a final review and acceptance of the TIA, nor approval of the driveway permit, design/construction plans, or final plat.

- The Department agrees with the Town that the TIA needs to be updated to reflect the following:
 - Correct number of dwelling units and/or commercial square footage
 - Roundabout design as requested by the Town at Brookhill Drive/Site Driveway #2
 - Desired cross section as required by Town needs to be considered as it affects all recommend improvements and could impact ingress/egress at all intersections and driveways
 - Desired access at designated commercial site
 - Desired access at designated school site
 - Provide overall site plan with that shows the limits of Phase 1 and Phase 2
 - Show access on City Road as required by the Town if a school is not built
 - Analyze the following intersections as a roundabout:
 - Covered Bridge and City Road / Smith Drive
 - Covered Bridge Road and O'Neil Street
 - Provide 2 different scenarios. The first will provide analysis showing operations if NCDOT allows full access at Driveways #1 & #3/5. Secondly, provide analysis showing operations with a left-over movement with right in right out (no left egress at Driveways #1 & #3/ 5)
- The rural parkway cross section required by the Town for Covered Bridge Road (SR 1700) shall be designed to current North Carolina Department of Transportation Roadway Standards. The typical section shall require a minimum 110 feet dedicated right-of-way, 23 foot monolithic

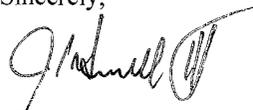
District Engineer's Office
2671 US 70 West, Goldsboro, NC 27530
Telephone: (919) 739-5300

landscaped island, two 12 foot travel lanes (one each direction), two foot paved shoulders, two 19 foot earth shoulders and appropriate ditches and or slopes. The wide shoulders are to accommodate any future widening that may occur. The Department will defer to the Town for any additional right-of-way required for the purpose of multi-use paths, sidewalks, or landscape buffers as multi-use paths are desired to be placed outside the ROW as possible. Left and right turn lanes will be required on Covered Bridge Road (SR 1700) for turning movements allowed after final review of the TIA

- The Department agrees with the Town that all additional access shown on Covered Bridge Road shall be eliminated other than Site Access #1, #2, and #3 (5). Any outparcels along Covered Bridge road shall be served internally

Please be advised that additional comments for each intersection as well as off site improvements are forthcoming upon receipt and review of the revised TIA as required by the Town and the comments above. Feel free to contact me if you have any additional questions or concerns.

Sincerely,



Jiles P. Harrell, PE
District Engineer

JPH

cc: Tim Little, PE - Division Engineer
Andy Brown, PE - Division Traffic Engineer
Driveway Permit File
Subdivision File



November 10, 2014

Mr. Steve Biggs
Town Manager
Town of Clayton
111 East Second Street
Clayton, North Carolina 27528

**Re: Brookhill Master Plan
MP/PSD-2014-128
Request for Sewer Allocation
WDL-14010**

On behalf of Wakefield Development Company & Galaxy NCLLC, McAdams Company has computed the preliminary sanitary sewer average daily flows for the proposed subdivision referenced above and have enclosed our calculations in the attachment to this letter. In our calculations, we provided a breakdown of potential flows anticipated to be generated on an annual basis with the total project flow listed on the last page. In addition, our calculations used the approved flow rate per unit for the Town of Clayton, as allowed by NCDENR, instead of a per bedroom calculation. Wakefield Development Company & Galaxy NCLLC is requesting sanitary sewer allocation on the basis of the provided information from the Town for the proposed Master Plan.

Consideration of this request is greatly appreciated. Upon your review, if you should have any questions or require additional information, please do not hesitate to contact me at (919) 361-5000.

Sincerely,

THE JOHN R. McADAMS COMPANY, INC.

Jonathan G. Moore, PE
Director, Residential

JM/rf

Attachment

The John R. McAdams
Company, Inc.

Raleigh / Durham, NC
2905 Meridian Parkway
Durham, North Carolina 27713
(919) 361-5000

Charlotte, NC
11301 Carmel Commons Blvd,
Suite 111
Charlotte North Carolina 28226
(704) 527-0800

McAdamsCo.com



Brookhill Sanitary Sewer Preliminary Evaluation

McAdams
10-Nov-14

Estimate of average daily flow of wastewater for Brookhill South (Phases 1-14):

Residential Unit Type	Res. Units/SF	Bedrooms	WW Flow Rate per Unit	Average WW Flow			Record Lots date
				gpd	gpm	cfs	
Phase 1							July-15
Amenity / Clubhouse	8,500	sf	0.13 gal/day-sf	1,105	1	0.002	
Phase 2							July-15
Townhome	72	2.5	250 gal/day-unit	18,000	13	0.028	
Phase 3							July-15
Single Family (65-70)	32	4	250 gal/day-unit	8,000	6	0.012	
Single Family (50-55/60-65)	75	3.5	250 gal/day-unit	18,750	13	0.029	
Phase 4							July-15
Single Family (65-70)	20	4	250 gal/day-unit	5,000	3	0.008	
Subtotal	199			50,855			
Phase 5							July-16
Single Family (65-70)	48	4	250 gal/day-unit	12,000	8	0.019	
Single Family (50-55/60-65)	68	3.5	250 gal/day-unit	17,000	12	0.026	
Phase 6							July-16
Single Family (65-70)	45	4	250 gal/day-unit	11,250	8	0.017	
Phase 7							July-16
Single Family (65-70)	15	4	250 gal/day-unit	3,750	3	0.006	
Phase 8							July-16
Single Family (65-70)	26	4	250 gal/day-unit	6,500	5	0.010	
Single Family (50-55/60-65)	8	3.5	250 gal/day-unit	2,000	1	0.003	
Phase 9							July-16
Single Family (65-70)	24	4	250 gal/day-unit	6,000	4	0.009	
Single Family (50-55/60-65)	32	3.5	250 gal/day-unit	8,000	6	0.012	
Phase 10							July-16
Single Family (65-70)	42	4	250 gal/day-unit	10,500	7	0.016	
Single Family (50-55/60-65)	15	3.5	250 gal/day-unit	3,750	3	0.006	
Subtotal	323			80,750			
Phase 11							July-17
Single Family (50-55/60-65)	65	3.5	250 gal/day-unit	16,250	11	0.025	
Phase 12							July-17
Single Family (50-55/60-65)	45	3.5	250 gal/day-unit	11,250	8	0.017	
Phase 13							July-17
Townhome	145	2.5	250 gal/day-unit	36,250	25	0.056	
Phase 14							July-17
Townhome	108	2.5	250 gal/day-unit	27,000	19	0.042	
Subtotal	363			90,750			
Commercial							
Commercial / Retail	25,000	sf	0.13 gal/day-sf	3,250	2	0.005	July-18
Total Units Phases 1-14	885		Total WW Flow Phases 1-14	225,605	157	0.349	

Estimate of average daily flow of wastewater for Brookhill North (Phases 15-33):

McAdams
10-Nov-14

Residential Unit Type	Res. Units/SF	Bedrooms	WW Flow Rate per Unit	Average WW Flow			Recorded Lots
				gpd	gpm	cfs	
Phase 15							July-18
Single Family (50-55/60-65)	95	3.5	250 gal/day-unit	23,750	16	0.037	
Phase 16							July-18
Townhome	95	2.5	250 gal/day-unit	23,750	16	0.037	
Phase 17							July-18
Townhome	95	2.5	250 gal/day-unit	23,750	16	0.037	
Phase 18							July-18
Townhome	80	2.5	250 gal/day-unit	20,000	14	0.031	
Subtotal	365			91,250			
Phase 19							July-19
Single Family (65-70/70-75)	40	4	250 gal/day-unit	10,000	7	0.015	
Phase 20							July-19
Single Family (50-55/60-65)	90	3.5	250 gal/day-unit	22,500	16	0.035	
Phase 21							July-19
Single Family (65-70/70-75)	80	4	250 gal/day-unit	20,000	14	0.031	
Phase 22							July-19
Single Family (65-70/70-75)	10	4	250 gal/day-unit	2,500	2	0.004	
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	
Phase 23							July-19
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	
Phase 24							July-19
Single Family (50-55/60-65)	30	3.5	250 gal/day-unit	7,500	5	0.012	
Subtotal	320			80,000			
Phase 25							July-20
Single Family (50-55/60-65)	35	3.5	250 gal/day-unit	8,750	6	0.014	
Phase 26							July-20
Single Family (65-70/70-75)	25	4	250 gal/day-unit	6,250	4	0.010	
Phase 27							July-20
Single Family (65-70/70-75)	40	4	250 gal/day-unit	10,000	7	0.015	
Phase 28							July-20
Single Family (65-70/70-75)	25	4	250 gal/day-unit	6,250	4	0.010	
Phase 29							July-20
Single Family (65-70/70-75)	50	4	250 gal/day-unit	12,500	9	0.019	
Phase 30							July-20
Single Family (65-70/70-75)	60	4	250 gal/day-unit	15,000	10	0.023	
Phase 31							July-20
Townhome	75	2.5	250 gal/day-unit	18,750	13	0.029	
Subtotal	310			77,500			
Phase 32							July-21
Apartment	380	2	240 gal/day-unit	91,200	63	0.141	
Subtotal	380			91,200			
Phase 33							July-22
Townhome	90	2.5	250 gal/day-unit	22,500	16	0.035	
Total Units Phases 15-33	1,465		Total WW Flow Phases 15-33	362,450	252	0.561	
Total Units	2,350		Total Flow	588,055			

TOWN OF CLAYTON
MOTION GRANTING SUBDIVISION APPROVALS
SHORT FORM

Motion:

Based on the substantial and competent evidence and testimony presented to the Town Council on this matter, the Council finds and concludes that Subdivision Application **PSD 2014-128, Steeplechase Planned Development**, (subject to the conditions recommended by the Planning Board and Planning Staff and with full incorporation of all statements and agreements entered into the record by the testimony of the applicant and applicant's representatives):

- (1) That the subdivision meets all required specifications of the Town Unified Development Ordinance;
- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area;
- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare; and
- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

Duly adopted by the Clayton Town Council this 16th day of March, 2015.

**TOWN OF CLAYTON
SUBDIVISION APPLICATION
EVALUATION FORM**

Application Number: PSD 2014-128

The Town Council shall decide the matter of Subdivision Application Number PSD 2014-128 by motion and vote on each of the following four findings of fact. Any motion to find against the application must be supported by statement of specific reasons or conclusions reached in support of the motion.

Finding One of Four:

Circle One

- A. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will meet all required specifications and will conform to the Town Unified Development Ordinance. (Applicant meets the criteria for approval).

- B. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will meet all required specifications and will conform to the Town Unified Development Ordinance: (Applicant meets the criteria for approval upon acceptance of the noted conditions.)

- C. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will not meet all required specifications and/or will not conform to the Town Unified Development Ordinance for the following stated reasons: (Applicant fails to meet the criteria for approval.)

Finding Two of Four:

Circle One

- A. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area. (Applicant meets the criteria necessary for approval.)

- B. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area upon compliance with the following stated conditions: (Applicant meets the criteria necessary for approval upon acceptance of the noted conditions.)

- C. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, will be detrimental to the use or orderly development of other properties in the surrounding area and/or will violate the character of existing standards for development of properties in the surrounding area for the following stated reasons: (Applicant fails to meet the criteria necessary for approval.)

Finding Three of Four:

Circle One

- A. Based on the evidence and testimony presented it is the finding of the Council that the subdivision design, if approved, will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare. (Applicant meets the criteria necessary for approval.)

- B. Based on the evidence and testimony presented it is the finding of the Council that the subdivision design, if approved, will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare upon compliance with the following stated conditions: (Applicant meets the criteria necessary for approval upon acceptance of the noted conditions.)

- C. Based on the evidence and testimony presented it is the finding of the Council that the subdivision design, if approved, will not provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will not provide for the unified and orderly use of or extension of public infrastructure, and/or will materially endanger the environment, public health, safety, or the general welfare for the following reasons. (Applicant fails to meet the criteria for approval.)

Finding Four of Four:

Circle One

- A. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council. (Applicant meets the criteria necessary for approval.)

- B. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council upon compliance with the following stated conditions: (Applicant meets the criteria necessary for approval upon acceptance of the noted conditions.)

- C. Based on the evidence and testimony presented it is the finding of the Council that the subdivision, if approved, will adversely affect the general plans for the orderly growth and development of the town and/or is not consistent with the planning policies adopted by the Town Council for the following stated reasons: (Applicant fails to meet the criteria necessary for approval.)

Once all findings have been decided one of the two following motions must be made:

Motion to Approve: Based upon satisfactory compliance with the above four stated findings and fully contingent upon acceptance and compliance with all conditions as previously noted herein and with full incorporation of all statements and agreements entered into the record by the testimony of the applicant and applicant's representative I move to approve Subdivision Application # 2014-128

OR

Motion to Deny: Based upon failure to meet all of the above four stated findings and for reasons stated therein, I move to deny Subdivision Application # 2014-128.

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 6a

Meeting Date: March 16, 2015

TITLE: Fresh Air Fund Proclamation

DESCRIPTION: The Town received a request from the Fresh Air Fund to recognize this organization. The Fresh Air Fund provides a summertime experience for children, who might not otherwise have the opportunity, to enjoy the fresh air of Clayton backyards, parks, greenways, and wide open spaces.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

3-16-15

**Place on April 6, 2015
Consent Agenda**

Proclamation

Town of Clayton
PROCLAMATION
The Fresh Air Fund

WHEREAS, The Fresh Air Fund provides free summer experiences in the country to more than 7,000 New York City children each summer, and

WHEREAS, The Fresh Air Fund allows city children to visit the homes of volunteer host families In 13 states from Virginia all the way to Maine and even Canada, and

WHEREAS, Clayton families have been participating in The Fresh Air Fund's Volunteer Host Family program for over 130 years, and

WHEREAS, The Fresh Air Fund allows New York children to enjoy Clayton backyards, parks, greenways, and wide open spaces, and

WHEREAS, The Fresh Air Fund is celebrating its 139th summer,

NOW, THEREFORE, the Honorable Mayor and Clayton Town Council wish to recognize

THE FRESH AIR FUND

We urge all citizens to support and encourage children of ages to value all summertime experiences by getting outside and enjoying fresh air and the wonderful experiences offered by The Fresh Air Fund

Duly proclaimed by The Clayton Town Council this the 6th day of April 2015.

Jody L. McLeod
Mayor

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 6b

Meeting Date: March 16, 2015

TITLE: Amendments to the Municipal Records Retention & Disposition Schedule

DESCRIPTION: At the November 5, 2015 Council approved the use of the 2012 Municipal Schedule for the Town of Clayton.

Amendments to this Schedule include:

- *Adding* Law Enforcement Records – Law Enforcement Audio and Video Recordings

- *Amending* Employee Eligibility Records (I-9 forms etc.) as follows:
Mandatory to retain records throughout entire employment. Records may be destroyed upon separation; either 3 years from the date of hire OR 1 year after separation, whichever is later.

RELATED GOAL: Legislative

ITEM SUMMARY:

<u>Date:</u>	<u>Action:</u>	<u>Info. Provided:</u>
3-16-15	Place on April 6, 2015 Consent Agenda	Resolution

**Municipal
Records Retention Schedule Amendment**

Amending the Municipal Records Retention and Disposition Schedule published September 10, 2012.

STANDARD 9. LAW ENFORCEMENT RECORDS

Adding Item 136, Law Enforcement Audio and Video Recordings, as shown on substitute page 90.

STANDARD 12. PERSONNEL RECORDS

Amending Item 19, Employee Eligibility Records, as shown on substitute page 105.

APPROVAL RECOMMENDED

City/Town Clerk

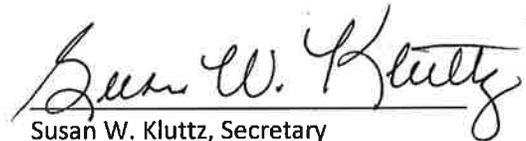
Chief Administrative Officer/
City Manager



Sarah E. Koonts, Director
Division of Archives and Records

APPROVED

Mayor



Susan W. Kluttz, Secretary
Department of Cultural Resources

January 5, 2015

STANDARD-9: LAW ENFORCEMENT RECORDS			
ITEM #	RECORD SERIES TITLE	DISPOSITION INSTRUCTIONS	CITATION
134.	WORK RELEASE EARNINGS REPORTS Inmates' work release earnings reports submitted either to the N.C. Department of Corrections or the Clerk of Superior Court.	Destroy in office after 3 years.*	G.S. §148-32.1
135.	WRECKER SERVICE RECORDS Records concerning wrecker requests or calls. May include lists of wrecker company's towing and storage rates, rotation lists, notification records when vehicles are towed from private property, and other related records.	a) Destroy in office after 1 year if not made part of a case file. b) If record is made part of a case file follow disposition instructions for CASE HISTORY FILE: FELONIES item 17, page 64; or CASE HISTORY FILE: MISDEMEANORS item 18, page 64.	
136.	LAW ENFORCEMENT AUDIO AND VIDEO RECORDINGS Tapes and digital recordings generated by mobile and fixed audio and video recording devices. Does not include ELECTRONIC/VIDEO RECORDINGS OF INTERROGATIONS (HOMICIDE) item 44, page 71. See also MOBILE UNIT VIDEO TAPES item 81, page 80.	a) Destroy in office after 30 days if not made part of a case file. b) If record is made part of a case file follow disposition instructions for CASE HISTORY FILE: FELONIES item 17, page 64; or CASE HISTORY FILE: MISDEMEANORS item 18, page 64. c) If record is made part of a citizen complaint follow disposition instructions for CITIZEN COMPLAINTS/ ADMINISTRATIVE INVESTIGATION RECORDS item 21, page 65. d) If record is made part of an internal investigation follow disposition instructions for INTERNAL AFFAIRS CASE RECORDS item 76, page 78.	Comply with applicable provisions of G.S. § 132-1.4 regarding confidentiality of criminal investigation records and G.S. §160a-168 regarding confidentiality of personnel records.

*See *AUDITS, LITIGATION, AND OTHER OFFICIAL ACTIONS*, page vi.

† See signature page. The agency hereby agrees that it will establish and enforce internal policies setting minimum retention periods for the records that Cultural Resources has scheduled with the disposition instruction "destroy when administrative value ends." Please use the space provided.

STANDARD-12. PERSONNEL RECORDS			
ITEM #	RECORD SERIES TITLE	DISPOSITION INSTRUCTIONS	CITATION
18.	<p>EMPLOYEE EDUCATIONAL ASSISTANCE PROGRAM RECORDS</p> <p>Includes records requesting tuition assistance, repayments, and other related records.</p> <p>See also PERSONNEL RECORDS (OFFICIAL COPY) item 47, page 112.</p>	<p>Destroy in office 3 years after completion, denial, repayment, or removal from program.*</p>	
19.	<p>EMPLOYEE ELIGIBILITY RECORDS</p> <p>Includes the United States Immigration and Naturalization Services, Employment Eligibility Verification (I-9) forms.</p>	<p>Mandatory retention throughout the duration of an individual's employment. After separation, destroy records in office 3 years from date of hire or 1 year from separation, whichever occurs later.</p>	8 USC 1324a(b)(3)
20.	<p>EMPLOYEE EXIT INTERVIEW RECORDS</p> <p>See also PERSONNEL RECORDS (OFFICIAL COPY) item 47, page 112.</p>	<p>Destroy in office after 1 year.</p>	
21.	<p>EMPLOYEE HEALTH CERTIFICATES</p> <p>Includes health or physical examination reports, or certificates created in accordance with Title VII and the Americans with Disabilities Act (ADA).</p>	<p>a) Transfer records as applicable to PERSONNEL RECORDS (OFFICIAL COPY) item 47, page 112.</p> <p>b) Destroy in office all other records 2 years after resolution of all actions.</p>	

*See **AUDITS, LITIGATION, AND OTHER OFFICIAL ACTIONS**, page vi.

† See signature page. The agency hereby agrees that it will establish and enforce internal policies setting minimum retention periods for the records that Cultural Resources has scheduled with the disposition instruction "destroy when administrative value ends." Please use the space provided.

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 6c

Meeting Date: March 16, 2015

TITLE: Surplus Property Resolution

DESCRIPTION: This resolution will authorize the sale of Town of Clayton surplus property on www.govdeals.com, which is an internet-based auction system.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

3-16-15

**Place on April 6, 2015
Consent Agenda**

Resolution

**TOWN OF CLAYTON
RESOLUTION AUTHORIZING THE SALE OF
CERTAIN PERSONAL PROPERTY AT PUBLIC AUCTION**

WHEREAS, the Town Council of the Town of Clayton desires to dispose of certain surplus property of the Town; and

WHEREAS, the Town Council of the Town of Clayton desires to utilize the auction services of an Internet-based auction system

NOW, THEREFORE, BE IT RESOLVED by the Town Council that:

1. The following described property is hereby declared to be surplus to the needs of the Town:

Vin./Serial #	Description
2FALP71W11X126877	2001 Ford Crown Vic
2FAHP71W13X173578	2003 Ford Crown Vic
Suction lift pump	Smith & Lovelace #VL256TTDR8666AN-R28
Suction lift pump	Smith & Lovelace #VL256TTDR8666AN-R28W
2FAFP71W36X157619	2006 Ford Crown Vic
2FAFP71W86X157616	2006 Ford Crown Vic
2B3LA43GX8H235914	2008 Dodge Charger
1FTEF15N3SNA78678	1995 Ford F-150
Portable Generator	ECCO #C50ES w/ 10hp Briggs&Strton

2. The Finance Director or his designee is authorized to receive, on behalf of the Town Council, bids via public electronic auction for the purchase of the described property.
3. The public electronic auction will be held beginning no earlier than April 17, 2015 [resolution shall be published at least 10 days before the date of auction].
4. The Town Council further authorizes the disposal of Town surplus property by use of a public electronic auction system provided by GovDeals Inc. The property for sale can be viewed at www.govdeals.com. Citizens may bid on the property at the same website. The terms of the sale shall be: All items are sold as is, where is, with no express or implied warranties; All items will be sold for cash or certified check only; Payment must be received for all items

sold before they may be removed from the premises; All items sold must be paid for and removed from the site of the sale within 5 business days of the sale, or they will be subject to resale.

5. The Town Clerk shall cause a notice of the public auction for surplus property to be noticed by electronic means in accordance with NC G.S. 160A-270(c), available on the Town of Clayton website: www.townofclaytonnc.org.
6. The highest bid, if it complies with the terms of the sale, may be accepted by the Finance Director or his designee and the sale consummated.

Duly adopted by the Clayton Town Council this 6th day of April 2015, while in regular session.

Jody L. McLeod
Mayor

ATTEST:

Kimberly A. Moffett, CMC
Town Clerk

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 6d

Meeting Date: March 16, 2015

TITLE: Clayton Road Race

DESCRIPTION: Downtown Development Coordinator Bruce Naegelen will provide details on the Clayton Road Race scheduled for May 9, 2015.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

3-16-15

**Place on April 6, 2015
Consent Agenda**

Special Events Report



Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SPECIAL EVENT ACTION ITEM REPORT

Planning Staff Contact: Bruce Naegelen: 919-280-1278

EVENT INFORMATION:

Event Name: Clayton Road Race **File Number:** 2015-03
Event Description: 5k Road Race – will require road closings
Event Date(s): May 9th, 2015 **Event Time(s):** 8:00 am to 11:00 am
Event Location: Downtown streets – Second/Atkinson/Horne/Barbour/Fayetteville
Event Coordinator: Matt Lorion **Contact Number:** 919-624-9807
Contact Email: mlorion@townofclaytonnc.org
Attendees (Per Day): 300-400

TOWN SERVICES REQUESTED:

Department / Division	Requested Services	Date/Time	Primary Contact	Contact Phone #
Public Works	5 Trash Roll-Out Carts & 3 Recycled carts to The Clayton Center Parking Lot (Horne Street)	Deliver: 5/8/15 Pick-up: 5/11/15	Steve Blasko	359-1287
Public Works/PD	Road barricades and cones for street closures	Deliver: 5/8/15 Pick-up: 5/11/15	Steve Blasko Ken Lunger	359-1287 550-0826
PD	Put barricades/cones in place by 8 am	5/9/15	Ken Lunger	550-0826
Town Council	Authorize closure of roads for race	3/16/15		

STAFF USE:

SEC Approval	<input checked="" type="checkbox"/> Approved	Date: 3/3/2015	<input type="checkbox"/> No Council Action needed
	<input type="checkbox"/> Denied		
Council Action	Presentation	Date: 3/16/15	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
	Consent Agenda	Date: 4/6/15	Date:
Pending Actions	<input type="checkbox"/> DOT Road Closure Approval		<input type="checkbox"/> Issue Permit Date:
	<input type="checkbox"/> ABC Permit Submittal		
	<input type="checkbox"/> Other		

(SEC – Special Event Committee)

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 6e

Meeting Date: March 16, 2015

TITLE: Santa Baby Road Race

DESCRIPTION: Downtown Development Coordinator Bruce Naegelen will provide details on the Santa Road Race scheduled for December 5, 2015.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

3-16-15

**Place on April 6, 2015
Consent Agenda**

Special Events Report



Town of Clayton
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SPECIAL EVENT ACTION ITEM REPORT

Planning Staff Contact: Bruce Naegelen: 919-280-1278

EVENT INFORMATION:

Event Name: Santa Baby **File Number:** 2015-04
Event Description: 1 mile Fun Run – 5 K timed run

Event Date(s): 12-5-2015 **Event Time(s):** 9:00 am to 12:00 pm
Event Location: 110 W. Main Street – down town Clayton
Event Coordinator: Calvin Spradlin **Contact Number:** 919-802-5334
Contact Email: Reciprocityevents@gmail.com
Attendees (Per Day): 500+

TOWN SERVICES REQUESTED:

Department / Division	Requested Services	Date/Time	Primary Contact	Contact Phone #
Public Works	5 trash roll-out carts at Town Square	Deliver: 12/4/15 Pickup: 12/7/15	Steve Blasko	359-1287
Public Works/PD	Road barricades & cones for street closures	Deliver: 12/4/15 Pick-up: 12/7/15	Steve Blasko Ken Lunger	359-1287 550-0826
PD	Put barricades in place by 8:00 am	12/5/15	Ken Lunger	550-0826
Town Council	Authorize closure of roads for race	3/16/15		

STAFF USE:

SEC Approval	<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	Date: 3/3/2015	<input type="checkbox"/> No Council Action needed
Council Action	Presentation Date: 3/16/15 Consent Agenda Date: 4/6/15		<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:
Pending Actions	<input type="checkbox"/> DOT Road Closure Approval <input type="checkbox"/> ABC Permit Submittal <input type="checkbox"/> Other		<input type="checkbox"/> Issue Permit Date:

(SEC – Special Event Committee)

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 6f

Meeting Date: March 16, 2015

TITLE: Zaxby's Movie Night(s)

DESCRIPTION: Downtown Development Coordinator Bruce Naegelen will provide details on the Zaxby's Movie Night(s) scheduled for May 2, 2015 and August 22, 2015.

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

3-16-15

**Place on April 6, 2015
Consent Agenda**

Special Events Report



Town of Clayton
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SPECIAL EVENT ACTION ITEM REPORT

Planning Staff Contact: Bruce Naegelen: 919-280-1278

EVENT INFORMATION:

Event Name: Zaxby's Movie Night **File Number:** 2015-05
Event Description: Free public movie- bounce house – food vendors

Event Date(s): 5-2-15 & 8-22-15 **Event Time(s):** 6:00 pm to 10:00 pm
Event Location: 110 W. Main Street
Event Coordinator: Bruce Naegelen **Contact Number:** 919-280-1278
Contact Email: bnaegelen@townofclaytonnc.org
Attendees (Per Day): 500-800

TOWN SERVICES REQUESTED:

Department / Division	Requested Services	Date/Time	Primary Contact	Contact Phone #
Public Works	5 Roll-out Trash Carts / 3 Recycled carts @ Town Square	Deliver: 5/1 & 8/21 Pick-up: 5/4 & 8/24	Steve Blasko	359-1287
Public Works	Barricades to close Town Square Parking lot	Deliver: 5/1 & 8/21 Pick-up: 5/4 & 8/21	Steve Blasko	359-1287
Town Council	Close Town Square Parking Lot Noon to 10:00 pm	5/2/15 & 8/22/15		

STAFF USE:

SEC Approval	<input checked="" type="checkbox"/> Approved	Date: 3/3/2015	<input type="checkbox"/> No Council Action needed
	<input type="checkbox"/> Denied		
Council Action	Presentation	Date: 3/16/15	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
	Consent Agenda	Date: 4/6/15	Date:
Pending Actions	<input type="checkbox"/> DOT Road Closure Approval	<input type="checkbox"/> Issue Permit	Date:
	<input type="checkbox"/> ABC Permit Submittal		
	<input type="checkbox"/> Other		

(SEC – Special Event Committee)

**TOWN OF CLAYTON
TOWN COUNCIL
AGENDA COVER SHEET**

Agenda Item: 7a

Meeting Date: March 16, 2015

TITLE: Warranty and Dedication Acceptances

**DESCRIPTION: Chandler's Ridge (Old Lyndale) Phase 2
Spring Branch Medical Park Phase 2, Smith Packet AL Facility**

RELATED GOAL:

ITEM SUMMARY:

Date:

Action:

Info. Provided:

3-16-15

**Place on April 6, 2015
Consent Agenda**

Inspectors Memos

TOWN OF CLAYTON OPERATIONS CENTER

"SERVICE"

ELECTRIC SERVICE
(919) 553-1530

VEHICLE MAINTENANCE
(919) 553-1530



"ENVIRONMENT"

PUBLIC WORKS
(919) 553-1530

WATER RECLAMATION
(919) 553-1535

MEMORANDUM

To: Kimberly Moffett, Town Clerk

From: Chris Rowland, Construction Inspector *CR*

Copy: Jonathan Barnes, Dalton Engineering
David DeYoung, Planning Director

Date: February 18, 2015

Re: Spring Branch Medical Park Phase 2, Smith Packet AL
Facility

Please place a warranty acceptance request for the referenced public sewer utility and all pertinent easements on the next available agenda. Record drawings have been reviewed and accepted. Following acceptance, the utility will be subject to a one-year warranty period. Following the warranty period, a final inspection will be done and all deficient items corrected prior to final acceptance.

TOWN OF CLAYTON OPERATIONS CENTER

"SERVICE"

ELECTRIC SERVICE
(919) 553-1530

VEHICLE MAINTENANCE
(919) 553-1530



"ENVIRONMENT"

PUBLIC WORKS
(919) 553-1530

WATER RECLAMATION
(919) 553-1535

MEMORANDUM

To: Kimberly Moffett, Town Clerk

From: Chris Rowland, Construction Inspector *CA*

Copy: Danny Blackburn, Blackburn Engineering
Dave DeYoung, Planning Director

Date: March 5, 2015

Re: Chandlers Ridge (Old Lyndale) Subdivision, Phase 2

Please place a warranty acceptance request for the subject public water, sewer, associated storm drainage utilities, and all related utility easements on the next available agenda. Record drawings have been reviewed and accepted. Following acceptance, the utilities will be subject to a one-year warranty period. Upon expiration of said warranty, a final inspection will be performed with all deficient items corrected by the developer prior to final acceptance.